KEY ABBREVIATIONS

AFF

BD

BIT

ВО

CAB

CB

CIP

CLG

CLR

CM

CMU

COL

CONC

CONST

CONT

CORR

CPT

CTR

DEMO

DIA

DIM

DS

DTL

DW

DWG

ELEC

ELEV

ENCL

EQUIP

EXIST

EXP

FDN

FLUOR FO

FOB FOC

FOF

FOS

FT

FTG

FURR

GALV

GC

FUT

FRMG

EQ

CY

CONCRETE

CONSTRUCTION

CARPET; CARPETED

CONTINUOUS

CORRIDOR

CUBIC YARD

DEMOLITION

DIAMETER

DOOR

DETAIL

EAST

EACH

EQUAL

DIMENSION

DOWNSPOUT

DISHWASHER

DRAWING

ELEVATION

ELECTRICAL

ENCLOSURE

EQUIPMENT

EXISTING

EXTERIOR

ELEVATOR: ELEVATION

EXPANDED; EXPANSION

FIRE DEPARTMENT

FIRE EXTINGUISHER

FIRE EXTINGUISHER

CONNECTION

FOUNDATION

CABINET

CENTER

AND	MECH	MECHANICAL
EXISTING	MEMB	MEMBRANE
NEW	MEZZ	MEZZANINE
AT	MFR	MANUFACTURER
ANGLE	MIN	MINIMUM
CENTERLINE	MISC	MISCELLANEOUS
DIAMETER OR ROUND	MO	MASONRY OPENING
	MTD	MOUNTED
ACOUSTICAL CEILING TILE	MTL	METAL
ADJUSTABLE; ADJACENT		

ABOVE FINISH FLOOR NORTH ALTERNATE N/A NOT APPLICABLE ALT ALUM ALUMINUM NIC NOT IN CONTACT **APPROXIMATE** NTS NOT TO SCALE APROX **ARCH** ARCHITECT OC ON CENTER OCC B/W BETWEEN OCCUPANCY OD BOARD OUTSIDE DIAMETER BITUMINOUS OPNG OPENING BLDG

BUILDING PERF BOTTOM OF PERFORATED PERP PERPENDICULAR CABINET PROPERTY LINE PLASTIC LAMINATE CALC'S CALCULATIONS PLAM CATCH BASIN PLAS. PLASTER CAST-IN-PLACE PLYWD PLYWOOD CLOSET PR PAIR CEILING PRCST PRECAST CLKG CAULKING PROP PROPERTY PVC CLEAR POLYVINYL CHLORIDE CARBON MONOXIDE DETECTOR QTY QUANTITY CONCRETE MASONRY UNIT COLUMN

RAD

REF

REFR

REINF

REQ

RESIL

REV

RO

SD

SECT

SF

SFR

SHT

SIM

SOG

SPEC

SQ

SST

STBK

STOR

TG

TO

TO BM

STRUCT

SHT MTL

ROW

RISER RADIUS REFERENCE REFRIDGERATOR REINFORCED; REINFORCING REQUIRED RESILIENT REVISION; REVISED **ROUGH OPENING** RIGHT OF WAY

SOUTH SMOKE DETECTOR; STORM SECTION SQUARE FOOT/FEET SINGLE FAMILY RESIDENCE SHEET SHEET METAL SHEATHING SQUARE INCH; INCHES SIMILAR SLAB ON GRADE **SPECIFICATION SQUARE** STAINLESS STEEL **SETBACK** STORAGE STRUCTURAL SUSPENDED

TONGUE AND GROOVE

TEMPERED GLASS

THREAD

TOP OF ...

TOP OF BEAM

WALK IN CLOSET

BARRIER

WEIGHT

WEATHER RESISTIVE

FINISHED FLOOR TOC TOP OF CURB FIRE HYDRANT, FULL HEIGHT TOP OF WALL FINISH **TUBE STEEL** FLOOR **TYPICAL FLUORESCENT** FACE OF .. **UNLESS NOTED OTHERWISE** FACE OF BEAM FACE OF CONCRETE VINYL BASE FACE OF VCT VINYL COMPOSITION TILE FINISH/FOUNDATION VEN VENEER FINISHED BY OWNER VERTICAL **VERT** INSTALLED BY CONTRACTOR VESTIBULE VEST FACE OF STUDS VERIFY FRAMING FOOT; FEET WEST; WIDTH FOOTING **FURRING** WITHOUT W/O FUTURE WOOD WHOLE HOUSE FAN GAUGE

GLASS GLAM GLUE-LAMINATED **GWB** GYPSUM WALL BOARD HANDICAPPED HDR HEADER **HDWD** HARDWOOD **HOLLOW METAL** HM HORIZ HORIZONTAL HOUR HEIGHT HT **HVAC** HEATING/VENTILATING/AIR CONDITIONING HIGH VOLTAGE LINE

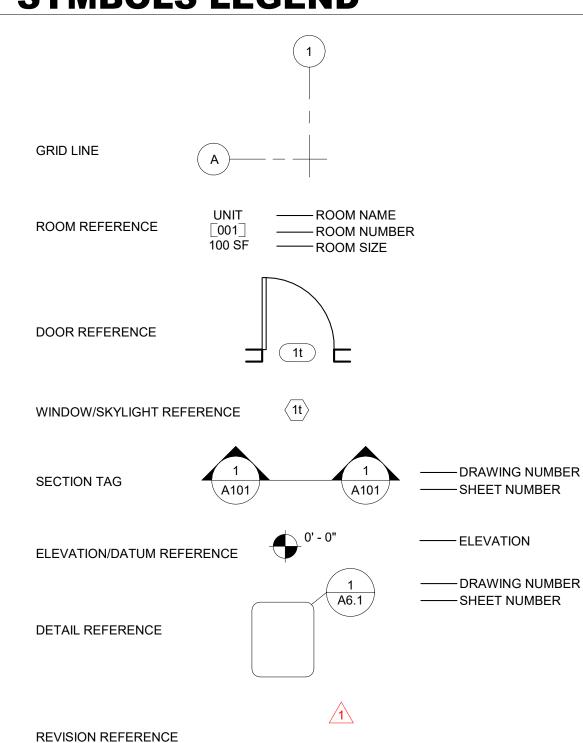
GALVANIZED

GENERAL CONTRACTOR

INSUL INSULATION INTERIOR INVERT INV JST JOIST LAM LAMINATE; LAMINATED LAVATORY

LAV LINEAR FOOT; FEET MAS **MASONRY** MAX MAXIMUM

SYMBOLS LEGEND



ENERGY CREDITS

TABLE 406.2 **ENERGY CREDITS**

APPLIED TO EACH UNIT

1a - EFFICIENT BUILDING ENVELOPE: Prescriptive compliance is based on Table R402.1.1 with the following modifications: Vertical fenestration U = 0.28

Floor R-38 Slab on grade R-10 perimeter and under entire slab Below grade slab R-10 perimeter under entire slab

Compliance based on Section R402.1.4: Reduce the Total UA by 5%. 0.5 CREDIT(S)

3d - HIGH EFFICIENCY HVAC EQUIPMENT: Ductless Split System Heat Pumps, Zonal Control: In homes where the primary space heating system is zonal electric heating, a ductless heat pump system shall be installed and provide heating to the largest zone of the housing unit.

To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the heating equipment type and the minimum equipment efficiency. 1.0 CREDIT(S)

5a - EFFICIENT WATER HEATING:

All showerhead and kitchen sink faucets installed in the house shall be rated at 1.75 GPM or less. All other lavatory faucets shall be rated at 1.0 GPM or

To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the maximum flow rates for all showerheads, kitchen sink faucets, and other lavatory faucets. 0.5 CREDIT(S)

5c - EFFICIENT WATER HEATING: Water heating system shall include one of the following: Gas, propane of oil water heater with a minimum EF of 0.91.

Solar water heating supplementing a minimum standard water heater. Solar water heating will provide a rated minimum savings of 85 therms oR 2000kWh based on the Solar Rating and Certification Corporation (SRCC) Annual Performance of OG-300 Certified Solar Water Heating Systems.

Electric heat pump water heater with a minimum EF of 2.0 and meeting the standards of NEEA's Northern Climate Specifications for Heat Pump Water

To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the water heater equipment type and the minimum equipment efficiency and, for solar water heating systems, the calculation of the minimum energy savings. 1.5 CREDIT(S)

TOTAL: 3.5 CREDITS

DRAWING INDEX

SHEET NUMBER SHEET NAME 1- GENERAL G0-00 TITLE SHEET & PROJECT DATA G0-01 **GENERAL NOTES** G0-02 ZONING CODE ANALYSIS & DIAGRAMS G0-03 DESIGN STANDARDS DIAGRAMS SURVEY LBA-1 LOT BOUNDARY ADJUSTMENT TITLE SHEET LBA-2 BLOCK AND ORIGINAL PARCEL DETAIL LBA-3 EXISTING SITE CONDITIONS DETAIL LBA-4 ADJUSTED PARCEL DETAIL LBA-5 ACCESS EASEMENT DETAIL LBA-6 EASEMENT DETAILS LBA-7 ADJUSTED PARCEL DESCRIPTIONS EASEMENT LANGUAGE LBA-8 3- CIVIL

C1-00 CSC 4- LANDSCAPE

L-1 LANDSCAPE PLAN L-2 **GREEN FACTOR PLAN** L-3 LANDSCAPE DETAILS

6- ARCHITECTURAL A1-00 SITE PLAN A2-00 FLOOR PLANS A2-01 FLOOR PLANS A2-02 FLOOR PLANS A2-03 FLOOR PLANS

A2-04 FLOOR PLANS A3-00 EAST ELEVATION A3-01 SOUTH ELEVATION A3-02 WEST ELEVATION NORTH ELEVATION A3-03 A4-00 **BUILDING SECTIONS** A4-01 **BUILDING SECTIONS** A8-10 **DETAILS**

PROJECT DATA

12321 14TH AVE NE SEATTLE, WA 98125

DCI PROJECT #: 3030631, 6633838 **OVERLAY ZONING: NORTHGATE DISTRICT LOT SIZE:** 5318 SF **ECA**: NONE **USE TYPE:** RESIDENTIAL (ROWHOUSES)

PROJECT DESCRIPTION: CONSTRUCT A 5-UNIT ROWHOUSE STRUCTURE WITH 5 SURFACE PARKING STALLS. EXISTING STRUCTURE TO BE DEMOLISHED.

LEGAL DESCRIPTIONS & TAX ID NUMBERS:

PARCEL Z OF LBA #3030770, CITY OF SEATTLE SHORT PLAN NO. 3007640, ACCORDING TO THE SHORT PLAN RECORDED UNDER RECORDING NO. 20080423900014, RECORDS OF KING COUNTY, WASHINGTON.

EXCEPT THE EAST 39.53 FT. THEROF.

SUBJECT TO AND TOGETHER WITH AN EASEMENT FOR INGRESS. EGRESS, ADDRESSS SIGN AND UTILITIES AS SHOWN AND DESCRIBED AS "ACCESS EASEMENT" UPON THIS CITY OF SEATTLE LOT BOUNDARY

TAX ID # 2926049610

PROJECT TEAM

NORTHWEST PROPERTY HOLDINGS, LLC 1112 19TH AVE E SEATTLE, WA 98112 TEL (206) 673-3423 CONTACT: DUSTIN VAN WYCK

LANDSCAPE ARCHITECT: ROOT OF DESIGN, LLC 7104 265TH ST NW #218 STANWOOD, WA 98292 TEL (206) 491-9545

CONTACT: DEVIN PETERSON **GEOTECHNICAL ENGINEER:** PANGEO, INC.

3213 EASTLAKE AVE E STE.B SEATTLE, WA 98102 TEL (206) 2262-0370 CONTACT: MICHAEL XUE

ARCHITECT & APPLICANT: CONE ARCHITECTURE, LLC 2226 3RD AVE, SUITE 100 SEATTLE, WA 98121 TEL (206) 693-3133 CONTACT: GREG SQUIRES

SURVEYOR: CHADWICK & WINTERS 1422 NW 85TH STREET SEATTLE, WA 98117 TEL (206) 297-0996 CONTACT: BRANDON WINTERS

ARBORIST: ARBOR OPTIONS, LLC CERTIFIED ARBORIST #PN 5892-A CERTIFIED TREE RISK ASSESSOR # CRTA 699 PHONE: (206) 755-5826 CONTACT: RYAN RINGE

DESCRIPTION

SEPA INTAKE

CY 1 CORRECTIONS

City of Seattle

SEPA CY 2 CORRECTIONS

DATE

05/30/2019

03.16.18

MARK

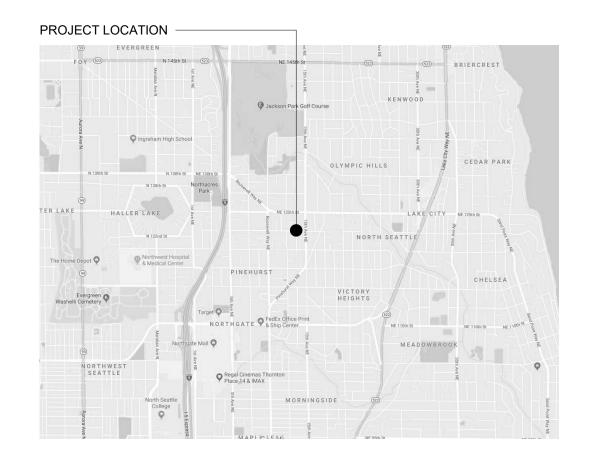
SDCI Approval Stamp

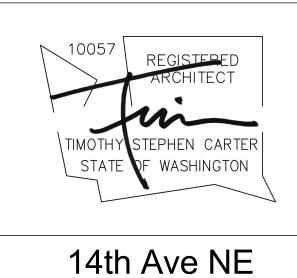
CONE

2226 3RD AVE, SEATTLE, WA 98121 TEL. (206) 693-3133

BUILDING AREAS

UNIT 1	
FIRST FLOOR	417 S
SECOND FLOOR	483 S
THIRD FLOOR	483 S
T.O ROOF	46 S
	1429 S
UNIT 2	
FIRST FLOOR	416 S
SECOND FLOOR	482 S
THIRD FLOOR	482 S
T.O ROOF	46 S
	1427 S
UNIT 3	
FIRST FLOOR	414 S
SECOND FLOOR	480 S
THIRD FLOOR	480 S
T.O ROOF	46 S
	1421 S
UNIT 4	
FIRST FLOOR	414 S
SECOND FLOOR	480 S
THIRD FLOOR	480 S
T.O ROOF	46 S
	1421 S
UNIT 5	
FIRST FLOOR	417 S
SECOND FLOOR	484 S
THIRD FLOOR	484 S
T.O ROOF	46 S
	1430 S
TOTAL CONDITIONED AREA	7128 S





Rowhouses

TITLE SHEET & PROJECT DATA

SDCI Project Number	3030631 / 6633838
Issue Date	05/16/18
Drawn by	MB
Checked by	SM

G0-00

CONE Project Number © CONE ARCHITECTURE, LLC 2018 - These drawings are not intended for use on any other project.

FOR ILLUSTRATIVE PURPOSES ONLY

NORTH SYMBOL

PROPERTY CORNER



VICINITY PLAN

SCALE: NOT TO SCALE

ELECTRICAL NOTES

- ALL ELECTRICAL WORK IS TO BE BIDDER DESIGNED AND SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
- ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS RELATED TO THE PARTY'S SCOPE OF WORK.
- WIRING METHODS SHALL BE AS PERMITTED BY "CODE" AND INSTALLATION PER "NECA" STANDARDS.
- USE OF ALUMINUM WIRE IS LIMITED TO SIZE #4 AND LARGER.
- ALL DEVICES TO BE SPECIFICATION GRADE.

OTHERWISE

REQUIREMENTS

- ALL NEW ELECTRICAL PANELS OR LOAD CENTERS TO BE PROTECTED ON LINE SIDE BY CURRENT LIMITING FUSES.
- LOCATE RECEPTACLES PER 2015 IRC SEC. E3801. ALL RECEPTACLES SHALL BE AT 15 INCHES
- FROM FINISHED FLOOR TO BOTTOM OF BOX UNLESS NOTED OTHERWISE. ALL SWITCHES SHALL BE 42 INCHES FROM FINISHED FLOOR TO BOTTOM OF BOX UNLESS NOTED
- VERIFY ALL RECEPTACLES, SWITCH, AND FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
- ALL EXTERIOR LIGHTING TO BE SHIELDED AND DIRECTED AWAY FROM ADJACENT PROPERTIES.
- MINIMUM 75% OF ALL INTERIOR LUMINARIES SHALL BE HIGH EFFICACY LUMINARIES (PER WSEC 404.1) AND ALL EXTERIOR LIGHTING SHALL BE HIGH EFFICACY LUMINARIES.

PLUMBING NOTES

SDCI Director's Rule 20-2017

SDCI Project Number

Property Owner or Financially

Property Owner or Financially

Responsible Party - Business Name

Select one building industry certification program:

Construction Gold, version 4 LEED for Homes, Gold, version 4

LBC Living Certification version 3.1

maximum penalty of 2 percent of construction value.

Part B - Prior to issuance of Building Permit

is Built Green Project Enrollment ID 2018SF182

Property Owner or Financially Responsible Party Signature

Responsible Party - Name

Project Address

Address

Email

City/State/Zip

- ALL PLUMBING WORK IS TO BE BIDDER DESIGNED AND SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES. OBTAIN AND PAY FOR PERMITS. PROVIDE PRESSURE RELIEF VALVE FOR HOT WATER TANK. DRAIN TO THE OUTSIDE OF THE BUILDING
- WITH DRAIN END NOT MORE THAN TWO FEET NOR LESS THAN 6 INCHES ABOVE THE GROUND, POINTING DOWN HOT WATER TANKS HAVING FLEXIBLE PIPE CONNECTIONS AND OVER FOUR FEET TALL SHALL BE
- STRAPPED DOWN TO PREVENT OVERTURN IN THE EVENT OF AN EARTHQUAK HOT WATER HEATERS LOCATED IN GARAGES SHALL BE ELEVATED PER 2015 IRC, PAGE 2801.6.
- PROVIDE AN APPROVED BACK FLOW PREVENTION DEVICE AT ALL HOSE BIBS. CONTRACTOR SHALL PROVIDE A DWV AND WATER DISTRIBUTION RISER DIAGRAM FOR COUNTY AND
- ARCHITECT REVIEW. EACH HORIZONTAL DRAINAGE PIPE SHALL BE PROVIDED WITH A CLEANOUT AT ITS UPPER TERMINAL CONTRACTOR TO PROVIDE HORIZONTAL DRAINAGE PIPING THAT MEETS UPC FOR SLOPE

BUILT GREEN COMMITMENT LETTER

Green Building Standards Commitment Form

1. If applying for a Master Use Permit, complete part A

2. If applying for a Building Permit, complete both parts A and B

Part A - Prior to issuance of Master Use Permit or Building Permit

the standard reference design calculated in the 2015 Seattle Energy Code.

Built Green 4 Star, multifamily new construction checklist 2017

o Evergreen Sustainable Development Standard (ESDS), version 3.0

o Passive House Institute US (PHIUS), version PHIUS + 2015 o Living Building Challenge (LBC) - Zero Energy Certification

3030631 / 6633838

12321 14th Ave NE

Northwest Property Holdings, LLC

Dustin Van Wyck

1112 19th Ave E

I agree to meet the green building standards pursuant to SMC 23.58D and Director's Rule 20-

2017 by certifying the project under the selected building industry certification programs and building the proposed project to achieve an annual energy use of at least 15 percent lower than

Leadership in Energy and Environmental Design (LEED) for Building Design and

★ Built Green 4 Star, single family new construction checklist WSEC 2015 (6/19/2017)

Passive House Institute (PHI), Passive House Planning Package (PHPP) version 8.5 or 9

I acknowledge the compliance requirements in SMC 23.58D.004, and shall submit documentation

from the selected certification program within 180 days from the issuance of the final certificate of

occupancy (COO) or final inspection, if no COO is required. I acknowledge the requirements in

SMC 23.58D.006, that failure to submit the certification report within 180 days, or by such later date as may be allowed by the director shall result in penalties of \$500 per day and up to a

To ensure compliance with the selected building industry certification program, the referenced

project has been registered or enrolled. The registration number or enrollment ID

Seattle, WA 98112

dustin@windermere.com

3. Financially responsible party or owner shall sign and date

4. This Commitment shall be embedded on permit plan set

MECHANICAL + ENERGY NOTES

- THE BUILDING MECHANICAL SYSTEM SHALL COMPLY WITH THE REQUIREMENTS OF THE 2015 SEATTLE ENERGY CODE (SEC).
- VENTILATION OF ALL AREAS SHALL BE IN CONFORMANCE WITH WAC 51-11 AND WAC 51-13, 2015 SRC, CHAPTER 15, TABLES M1507.4 AND M1507.3.3(1). PROVIDE COMBUSTION, VENTILATION, AND DILUTION FOR THE FORCED AIR FURNACE AND OTHER
- GAS APPLIANCES PER 2015 SRC G2407(304). SHOW ON PLAN SUBMITTAL TO COUNTY. PROVIDE VENTING FOR ALL GAS HEATING APPLIANCES IN ACCORDANCE WITH THE HEATING
- APPLIANCE MANUFACTURER'S RECOMMENDATIONS, AND THE 2015 IRC. HEATING DESIGN TEMPERATURES: (PER 2015 SEATTLE ENERGY CODE) HEATING: 72 DEGREES INSIDE AND 24 DEGREES OUTSIDE.
- PROVIDE DUCT INSULATION AS REQUIRED BY SEATTLE ENERGY CODE SEC 403.2.1. SOURCE SPECIFIC VENTILATION: VENTILATION (EXHAUST) SHALL BE PROVIDED IN BATHROOMS. KITCHENS, LAUNDRY ROOMS, SPA & POOL ROOMS AND OTHER ROOMS WHERE EXCESS WATER VAPOR OR COOKING ODOR ARE PRODUCED, AS REQUIRED BY THE 2012 SRC, CH.15. PER TABLE M1507.4; BATHROOMS; 50 CFM MIN; A WHOLE HOUSE VENTILATION SYSTEM SHALL BE INSTALLED; OF EITHER INTERMITTENT OR CONTINUOUS OPERATION, AS REQUIRED BY THE 2015 SRC, CH.15.
- DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AND HOMEOWNER PRIOR TO AN APPROVED FINAL INSPECTION PER WSEC 101.4.3.1 & 403.2. A SIGNED AFFIDAVIT DOCUMENTING THE DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR PRIOR TO AN APPROVED FINAL INSPECTION.DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AND HOMEOWNER PRIOR TO AN APPROVED FINAL INSPECTION PER WSEC 101.4.3.1 & 403.2. A SIGNED AFFIDAVIT DOCUMENTING THE DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR PRIOR TO AN APPROVED FINAL INSPECTION.
- A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE COMPLYING WITH SEC 401.3 IS REQUIRED TO BE COMPLETED BY THE DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY POSTED WITHIN 3' OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.
- BUILDING AIR LEAKAGE TESTING, DEMONSTRATING THE AIR LEAKAGE RATE DOES NOT EXCEED 5 AIR CHANGES PER HOUR, IS REQUIRED PRIOR TO FINAL INSPECTION PER WSEC 402.4.1.2. TEST RESULTS SHALL BE POSTED ON THE RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE (SEC 401.3). EACH DWELLING UNIT IS REQUIRED TO BE PROVIDED WITH AT LEAST ONE PROGRAMMABLE
- THERMOSTAT FOR THE REGULATION OF TEMPERATURE PER SEC 403.1. MINIMUM 75% OF ALL INTERIOR LUMINARIES SHALL BE HIGH EFFICACY LUMINARIES PER SEC 404.1 AND ALL EXTERIOR LIGHTING SHALL BE HIGH EFFICACY LUMINARIES.
- VENTILATION (EXHAUST) TERMINATION SHOULD BE LOCATED NOT LESS THAN 36" FROM NEAREST BUILDING OPENING, AS REQUIRED BY 2015 SRC. CH. 15

VENTILATION NOTES

ALL EXHAUST SYSTEMS MUST BE DESIGNED PER 2015 SRC, CHAPTER 15. MECHANICAL VENTILATING SYSTEMS IN BATHROOMS, LAUNDRY ROOMS AND SIMILAR ROOMS SHOULD EXHAUST DIRECTLY TO THE OUTSIDE. THE POINT OF DISCHARGE DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST THREE FEET FROM ANY OPENING INTO THE BUILDING.

100 CFM ON SWITCH

50 CFM ON SWITCH

WHOLE HOUSE FAN * 45 CFM ON CONTINUOUS TIMER, PER 2015 SRC, CH. 15 M1507.3

ARROW INDICATES EXHAUST TERMINUS

CARBON MONOXIDE ALARM ©

A CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPINGAREA IN IMMEDIATE VICINITY OF BEDROOMS AND ON EACH LEVEL AS PER SRC R315

SMOKE DETECTOR SD

- A SMOKE DETECTOR SHALL BE INSTALLED IN EACH HABITABLE ROOM. A SMOKE DETECTOR SHALL BE CENTRALLY LOCATED ON EACH FLOOR.
- AN ADDITIONAL SMOKE DETECTOR SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING HEIGHT CHANGE GREATER THAN 24".
- SMOKE DETECTORS TO BE 110v HARDWIRED, INTERCONNECTED, WITH BATTERY BACKUP PER SRC R314
- SMOKE DETECTOR LOCATION TO BE AT LEAST 3 FEET HORIZONTALLY FROM BATHROOM DOORS TO BATHROOMS WITH TUBS OR SHOWERS

INSULATION NOTES

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT SHALL BE PROVIDED PER SEC 2015 TABLE R402.1.

REQUIRED INSULATION VALUES:

FLOORS R-38 CEILINGS (VAULTED) R-38 CEILINGS R-49

EXTERIOR WALLS R-21 BELOW GRADE WALL, INT. INSUL. R-21+ THERMAL BREAK BELOW GRADE WALL, EXT. INSUL. R-10

- SLAB ON GRADE R-10. ENTIRE SLAB GLAZING - VERTICAL DOUBLE - U = .28 MAX. GLAZING - OVERHEAD DOUBLE - U = .50 MAX GLAZING AREA UNLIMITED DOORS U = .28 MAX. W/ 1 EXEMPT
- ALL EXTERIOR JOINTS AROUND WINDOWS AND DOORS. OPENINGS BETWEEN WALLS AND ROOF OR FOUNDATIONS, OPENINGS AT PENETRATIONS, AND ALL OTHER SUCH OPENINGS SHALL BE SEALED. CAULKED, OR HAVE A GASKET OR WEATHER STRIPPING TO LIMIT AIR LEAKAGE PER THE 2015 SEATTLE ENERGY CODE (SEC)
- EXTERIOR DOORS ARE TO BE 1-3/4 INCH SOLID CORE WITH FULL WEATHER STRIP AND THRESHOLD. ALL GLAZING IN EXTERIOR DOORS IS TO BE DOUBLE GLAZED WITH SAFETY GLASS.
- WINDOW AND DOOR HEADERS TO BE INSULATED WITH A MINIMUM OF R-10 INSULATION.

GRADING NOTES

- NO SEDIMENT SHALL BE TRACKED INTO THE STREET OR ONTO PAVED SURFACES. SEDIMENT SHALL BE REMOVED FROM TRUCKS AND EQUIPMENT PRIOR TO LEAVING THE SITE. IN THE EVENT THERE IS A FAILURE OF AN EROSION CONTROL SYSTEM RESULTING IN SEDIMENT BEING TRACKED ONTO PAVED SURFACES, THE CONTRACTOR SHALL IMMEDIATELY IMPLEMENT MEASURES TO CORRECT THE SITUATION, AND STREET SWEEPING SHALL BE EMPLOYED ON AN EMERGENCY BASIS. IF STREET SWEEPING VEHICLES ARE UTILIZED, THEY SHALL BE OF THE TYPE THAT ACTUALLY REMOVES SEDIMENT FROM THE PAVEMENT.
- SEATTLE DCI REQUIRES A PRE-CONSTRUCTION MEETING BETWEEN OWNERS REPRESENTATIVES, THE GENERAL CONTRACTOR, EXCAVATOR, AND DPD SITE
- GRADING MUST BE STABILIZED BY OCTOBER 31. NO EXCAVATION TO BE PERFORMED BETWEEN OCTOBER 31 AND APRIL 1 WITHOUT AN APPROVED DRY SEASON GRADING EXTENSION LETTER FROM SEATTLE DCI.
- TEMPORARY ENCROACHMENT ACROSS PROPERTY LINES DUE TO EXCAVATION IS NOT ALLOWED WITHOUT WRITTEN PERMISSION GRANTED BY OWNERS OF NEIGHBORING PROPERTIES AND SUBMITTED TO SEATTLE DCI.

ARCHITECTURAL GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH: THE 2015 SEATTLE BUILDING CODE (SBC).THE 2015 SEATTLE RESIDENTIAL CODE (SRC). THE 2015 SEATTLE ENERGY CODE (SEC). THE SÉATTLE STORMWATER, GRADING, AND DRAINAGE CONTROL CODE AND ENVIRONMENTALLY CRITICAL AREA REGULATIONS (ECA).
- ALL WORK SHALL CONFORM TO APPLICABLE BUILDING CODES AND ORDINANCES. IN CASE OF ANY CONFLICT WHEREIN THE METHODS OR STANDARDS OF INSTALLATION OR THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE
- LAWS OR ORDINANCES SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE INCLUDING SOIL CONDITIONS AND CONDITIONS RELATED TO THE EXISTING UTILITIES AND RESPONSIBLE FOR
- SAME. ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME FULLY AWARE OF ANY AND ALL CONDITIONS RELATED TO THE SITE AND EXISTING CONDITIONS THAT MAY EFFECT THE COST OF
- DO NOT SCALE DRAWINGS OR DETAILS USE GIVEN DIMENSIONS. CHECK DETAILS FOR LOCATION OF ALL ITEMS NOT DIMENSIONED ON PLANS. DOOR AND CASED OPENINGS WITHOUT DIMENSIONS ARE TO BE SIX (6) INCHES FROM FACE OF ADJACENT WALL OR CENTERED BETWEEN WALLS.
- THE DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER.

SCHEDULING CONSTRUCTION ACTIVITIES, PRIOR TO SUBMITTING BID.

- BUILDING SYSTEMS AND COMPONENTS NOT SPECIFICALLY DETAILED SHALL BE INSTALLED. PER MINIMUM MANUFACTURERS' RECOMMENDATIONS. NOTIFY THE ARCHITECT OF ANY CONFLICTS.
- INSTALL DUST BARRIERS AND OTHER PROTECTION AS REQUIRED TO PROTECT INSTALLED FINISHES AND FACILITIES.
- PLUMBING. MECHANICAL AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE INSTALLATION OF THEIR WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEER(S) OR OTHER SUPPLEMENTARY DRAWINGS SHALL BE BROUGHT TO THE OWNERS ATTENTION IN WRITING.
- THERE SHALL BE NO EXPOSED PIPE, CONDUITS, DUCTS, VENTS, ETC. ALL SUCH LINES SHALL BE 10 CONCEALED OR FURRED AND FINISHED, UNLESS NOTED AS EXPOSED CONSTRUCTION ON THE DRAWINGS. OFFSET STUDS WHERE REQUIRED, SO THAT FINISHED WALL SURFACE WILL BE
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CARRY ALL FOOTINGS TO SOLID, UNDISTURBED ORIGINAL EARTH. REMOVE ALL UNSUITABLE MATERIAL UNDER FOOTINGS AND SLAB AND REPLACE WITH CONCRETE OR WITH COMPACTED FILL AS DIRECTED BY A GEO-TECHNICAL ENGINEER.
- ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE 2015 IRC 16. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR EXPOSED WEATHER SHALL BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE UNLESS DECAY RESISTANT HEARTWOOD OF CEDAR OR REDWOOD IS USED. FASTENERS FOR PRESSURE
- FASTENERS FOR TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED STEEL (Z-MAX OIR EQ.), STAINLESS STEEL, SILICON BRONZE, OR COPPER.
- ALL WOOD LESS THAN 6 INCHES FROM THE GROUND OR 2 INCHES MEASURED VERTICALLY FROM EXTERIOR CONCRETE STEPS, PORCH SLABS, PATIO SLABS, AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER SHALL BE A NATURALLY DURABLE WOOD OR PRESSURE TREATED WITH AN APPROVED PRESERVATIVE PER 2015 SRC R317.
- PROVIDE FIRE-BLOCKING VERTICALLY AT CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET AND AS REQUIRED FOR CONCEALED SPACES UNDER 2015
- NAIL GYPSUM WALLBOARD TO ALL STUDS. TOP AND BOTTOM PLATES AND BLOCKING WITH COOLER NAILS @ 7 INCHES O.C. MAXIMUM SPACING UNLESS SHOWN OTHERWISE. USE 5d FOR 1 2 INCH WALLBOARD, 6d FOR 5 8 INCH WALLBOARD.
- PROVIDE GALVANIC INSULATION BETWEEN DISSIMILAR METALS.
- ALL PRIVATE GARAGES AND DWELLINGS SHALL BE SEPARATED BY 1-3 8" SOLID-CORE WOOD, 1-3 8" SOLID OR HONEYCOMB STEEL, OR 20 MIN. RATED GARAGE/DWELLING DOOR EQUIPPED WITH A SELF-CLOSING DEVICE; MIN. 1 2" GYPSUM WALLBOARD AT GARAGE WALLS AND 5 8" TYPE X GYPSUM BOARD CEILING SEPARATING THE GARAGE FROM THE DWELLING; MIN. 1 2" GYPSUM WALLBOARD WRAPPING POSTS, BEAMS AND WALLS SUPPORTING THE DWELLING ABOVE THE GARAGE PER SRC R302.6 AND R302.6.
- THE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UTILITIES AND SERVICES TO THE SITE PRIOR TO BEGINNING ANY SITE IMPROVEMENTS.
- NO MATERIALS FROM THE WORK ARE TO BE STOCK PILED ON THE PUBLIC RIGHT-OF-WAYS. ALL RUBBISH AND DEBRIS IS TO BE REMOVED FROM THE SITE. ADJACENT PROPERTIES, STREETS AND WALKS ARE TO BE PROJECTED FROM DAMAGE AT ALL
- ALL DOWNSPOUTS AND ROOF DRAINS TO BE CONNECTED TO STORM SEWER BY TIGHTLINE
- UNLESS SITE CONDITIONS ALLOW FOR DRYWELLS OR SURFACE DRAINAGE AND UNLESS NOTED OTHERWISE IN CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS ARE FACE OF FRAMING, CENTER LINE OF COLUMN, OR FACE OF CONCRETE **UNLESS NOTED OTHERWISE**
- THE CONTRACTOR SHALL SECURE PERMITS REQUIRED BY THE FIRE DEPARTMENT PRIOR TO BUILDING OCCUPATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE
- OCCUPANTS AND WORKERS AT ALL TIMES DURING THE COURSE OF THE PROJECT. APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY ANY
- WORKPERSONS. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. SAID PLANS ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
- THE CONTRACTOR AND/OR THE SUB-CONTRACTORS SHALL APPLY FOR, OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND FEES EXCEPT FOR THE BUILDING PERMIT.
- ALL STAIRWAYS MUST MEET THE REQUIREMENTS OF 2015 SRC R311.7. ALL EMERGENCY ESCAPES AND RESCUE OPENINGS FOR BEDROOMS AND BASEMENTS MUST
- MEET THE REQUIREMENTS OF 2015 SRC R310. ROOF VENTILATION MUST MEET THE REQUIREMENTS OF 2015 SRC R806. ALL SIDING METHODS MUST HAVE A WEATHER RESISTIVE BARRIER THAT MEETS THE
- REQUIREMENTS OF 2015 SRC R703.2. GENERAL WEATHER PROTECTION FOR THE ENTIRE PROJECT MUST MEET THE REQUIREMENTS OF SRC 2015 R903. SECURITY STANDARDS MUST MEET THE REQUIREMENTS OF 2015 SRC R330.
- ALL GUARDRAILS FOR DECKS, BALCONIES, AND OPEN RAILINGS MUST MEET THE REQUIREMENTS
- ALL SKYLIGHTS AND SLOPED GLAZING MUST MEET THE REQUIREMENTS OF 2015 SRC 308.6. ALL CEILING HEIGHTS MUST MEET THE REQUIREMENTS OF 2015 SRC R305.
- ALL UNDER FLOOR AND CRAWL SPACE MUST BE ACCESSIBLE PER 2015 SRC R408.4.
- ATTIC ACCESS MUST BE SIZED AND LOCATED ACCESSIBLY PER 2015 SRC r807.1.

GREEN BUILDING PERFORMANCE

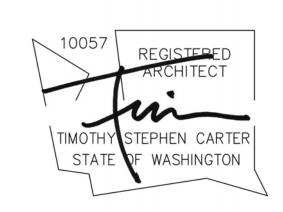
THE APPLICANT SHALL DEMONSTRATE TO THE DIRECTOR THE EXTENT TO WHICH THE APPLICANT HAS COMPLIED WITH THE COMMITMENT TO MEET THE GREEN BUILDING PERFORMANCE STANDARDS NO LATER THAN 90 DAYS AFTER ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY FOR THE NEW STRUCTURE, OR SUCH LATER DATE AS MAY BE ALLOWED BY THE DIRECTOR FOR GOOD CAUSE. PERFORMANCE IS DEMONSTRATED THROUGH AN INDEPENDENT REPORT FROM A THIRD PARTY, PURSUANT TO SECTION 23.90.018.D.





SDCI Approval Stamp

DESCRIPTION DATE SEPA INTAKE 03.16.18



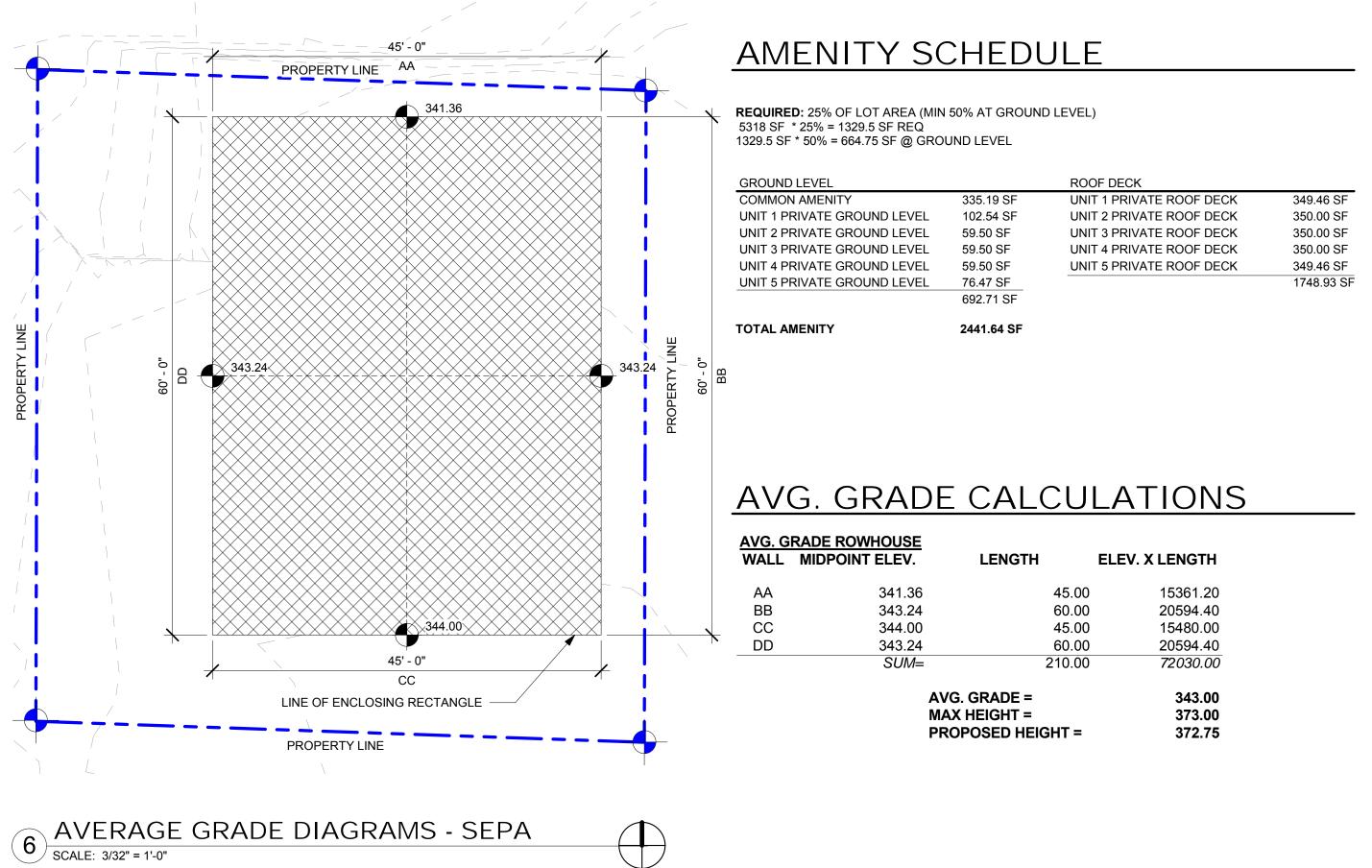
14th Ave NE Rowhouses

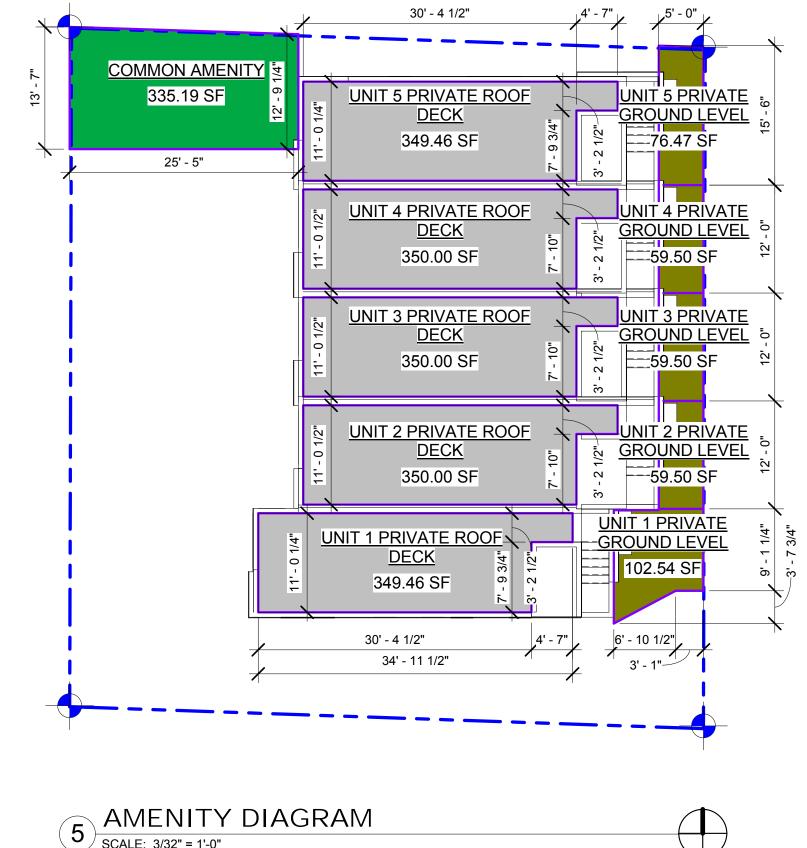
GENERAL NOTES

3030631 / 6633838 SDCI Project Number 05/16/18 Issue Date MB Drawn by Checked by

CONE Project Number

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SCALE: 3/32" = 1'-0"

PROJECT DATA

12321 14TH AVE NE SEATTLE, WA 98125

DCI PROJECT #: 3030631, 6633838 ZONE: LR1 **OVERLAY ZONING: NORTHGATE DISTRICT LOT SIZE:** 5318 SF **ECA**: NONE

USE TYPE: RESIDENTIAL (ROWHOUSES)

PROJECT DESCRIPTION: CONSTRUCT A 5-UNIT ROWHOUSE STRUCTURE WITH 5 SURFACE PARKING STALLS. EXISTING STRUCTURE TO BE DEMOLISHED.

LEGAL DESCRIPTIONS & TAX ID NUMBERS:

PARCEL Z OF LBA #3030770, CITY OF SEATTLE SHORT PLAN NO. 3007640, ACCORDING TO THE SHORT PLAN RECORDED UNDER RECORDING NO. 20080423900014, RECORDS OF KING COUNTY, WASHINGTON.

EXCEPT THE EAST 39.53 FT. THEROF.

SUBJECT TO AND TOGETHER WITH AN EASEMENT FOR INGRESS, EGRESS, ADDRESSS SIGN AND UTILITIES AS SHOWN AND DESCRIBED AS "ACCESS EASEMENT" UPON THIS CITY OF SEATTLE LOT BOUNDARY ADJUSTMENT

TAX ID # 2926049610

ZONING CODE SUMMARY

FLOOR AREA RATIO (F.A.R.) SUMMARIES: RESIDENTIAL USES: ROWHOUSES ZONE: LR1, FAR 1.2 LOT AREA: 5318 SF X 1.2 = 6,381.6 SF MAX. ALLOWABLE SEE PROPOSED FAR AREAS, G0-02

SETBACK REQUIREMENTS:

<u>JAL</u>
/4"
•
1 1/2"

DENSITY: ROWHOUSES, LR1 - 1/1600 OR NO LIMIT* (BUILT GREEN)

STRUCTURE WIDTH & FACADE LENGTH: PER SMC 23.45.527 STRUCTURE WIDTH

ALLOWED: NO LIMIT ACTUAL: 60'-0" FACADE LENGTH ALLOWED:

70'-6" X 65% = 45'-10" ACTUAL: 40'-6"

HEIGHT: PER SMC 23.45.514 ALLOWABLE: 30'-0" + 10'-0" (PENTHOUSE) + 40'-0" PROPOSED: SEE AVG. GRADE CALCS, SHEET G0-02

AMENITY AREA: PER SMC 23.45.522

REQUIRED: 25% OF LOT AREA (MIN. 50% PROVIDED @ GROUND LEVEL)

33' - 6"

369.20 SF

UNIT 4

369.90 SF

UNIT 3

369.90 SF

UNIT 2

369.90 SF

UNIT 1 369.20 SF

33' - 6"

5318 SF X 25% = 1329.5 SF REQ'D (664.75 SF AT GROUND LEVEL) PROVIDED: SEE AMENITY AREA SCHEDULE, SHEET G0-02

RESIDENTIAL REQUIRED PARKING: REQUIRED: 1 SPACE PER UNIT PROVIDED: 5 SPACES TOTAL



SDCI Approval Stamp

MARK	DESCRIPTION	DATE
	SEPA INTAKE	03.16.18
1	CY 1 CORRECTIONS	08/06/18

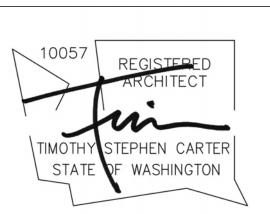




14th Ave NE Rowhouses **ZONING CODE** ANALYSIS &

SDCI Project Number	303003170033030
Issue Date	05/16/18
Drawn by	SM, MB
Checked by	GS

G0-02



DIAGRAMS

SDCI Project Number	3030631 / 6633838
Issue Date	05/16/18
Drawn by	SM, MB
Checked by	GS

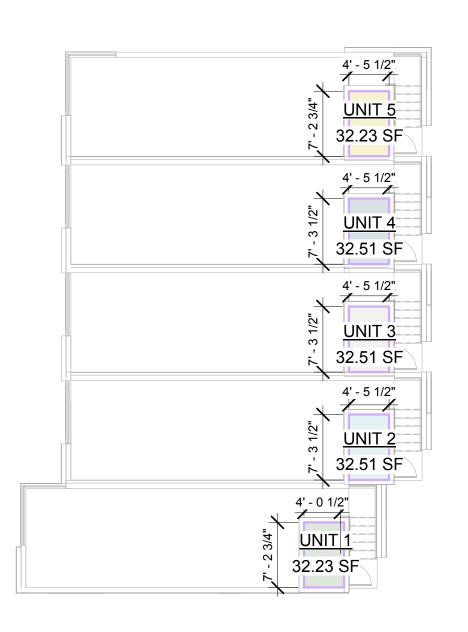
FAR DIAGRAM - FIRST FLOOR

FAR AREAS

UNIT 1	
FIRST FLOOR	369.20 SF
SECOND FLOOR	429.81 SF
THIRD FLOOR	429.81 SF
T.O ROOF	32.23 SF
	1261.05 SF
UNIT 2	
FIRST FLOOR	369.90 SF
SECOND FLOOR	430.63 SF
THIRD FLOOR	430.63 SF
T.O ROOF	32.51 SF
	1263.65 SF
UNIT 3	
FIRST FLOOR	369.90 SF
SECOND FLOOR	430.63 SF
THIRD FLOOR	430.63 SF
T.O ROOF	32.51 SF
	1263.65 SF
UNIT 4	
FIRST FLOOR	369.90 SF
SECOND FLOOR	430.63 SF
THIRD FLOOR	430.63 SF
T.O ROOF	32.51 SF
	1263.65 SF
UNIT 5	
FIRST FLOOR	369.20 SF
SECOND FLOOR	429.81 SF
THIRD FLOOR	429.81 SF
T.O ROOF	32.23 SF
	1261.05 SF
(6,381.6 SF ALLOWABLE)	6313.07 SF
	\sim

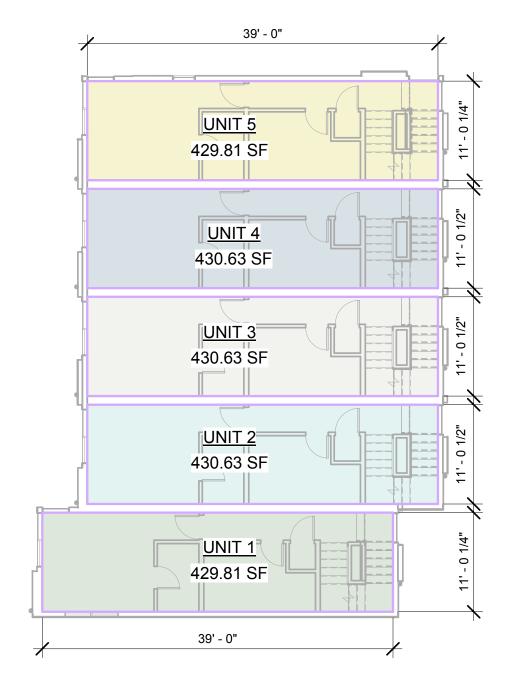
*THE GROSS FLOOR AREA DIMENSIONS

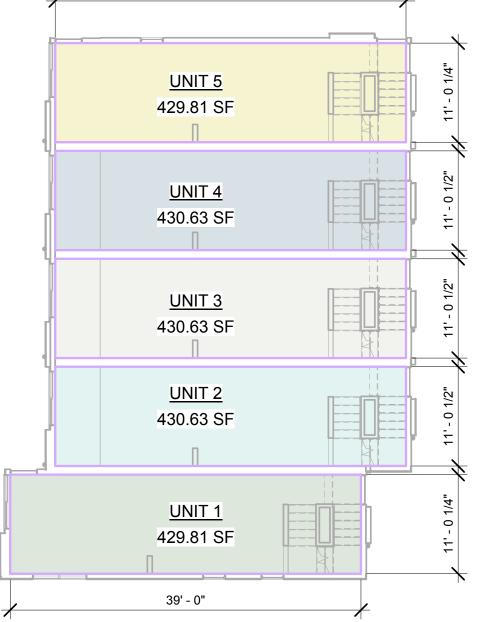
PROVIDED ARE MEASURED FROM THE INTERIOR

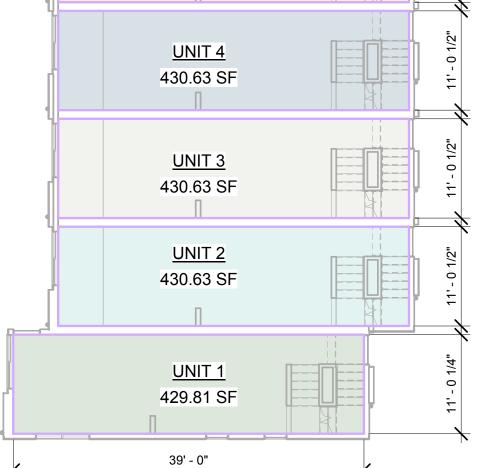


FAR DIAGRAM - ROOF PLAN

SCALE: 3/32" = 1'-0"







39' - 0"

PAR DIAGRAM - SECOND FLOOR

SCALE: 3/32" = 1'-0"

3 FAR DIAGRAM - THIRD FLOOR SCALE: 3/32" = 1'-0"

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CONE Project Number



31.6 SF

191. 7 SF

160.5 SF

31.6 SF

191. 7 SF

160.5 SF

31.6 SF

, 3' - 6 1/2"

191. 7 SF

8' - 5 1/2"

(TYPICAL UNIT)

DESIGN STANDARDS FOR ROWHOUSE DEVELOPMENT

PER SMC 23.45.529.E

<u>PEDESTRIAN ENTRY</u> EACH ROWHOUSE UNIT SHALL HAVE A PEDESTRIAN ENTRY ON THE STREET-FACING FACADE.

<u>FRONT SETBACK</u>
DESIGN ELEMENTS TO PROVIDE A TRANSITION BETWEEN THE STREET AND THE ROWHOUSE UNITS,
SUCH AS LANDSCAPING, TREES, FENCES, OR OTHER SIMILAR FEATURES ARE REQUIRED IN THE SETBACK.

ARCHITECTURAL EXPRESSION
THE STREET FACING FACADE OF A ROWHOUSE UNIT SHALL PROVIDE ARCHITECTURAL DETAIL OR COMPOSITION TO VISUALLY IDENTIFY EACH INDIVIDUAL ROWHOUSE AS SEEN FROM THE STREET. (TRIM, MODULATION, MASSING, COLOR, MATERIAL VARIATIONS, OR SIMILAR FEATURES)

TREATMENT OF STREET-FACING FACADES: FACADE ARTICULATION

PER SMC 23.45.529.C.3

VARIATIONS IN BUILDING MATERIALS AND/OR COLOR THAT REFLECTS THE STACKING OF STORIES OR REINFORCES THE ARTICULATION OF THE FACADE. (SEE ELEVATION SHEETS).

INCORPORATION OF ARCHITECTURAL FEATURES THAT ADD INTEREST AND DIMENSION TO THE FACADE, SUCH AS PORCHES, BAY WINDOWS, CHIMNEYS, PILASTERS, COLUMNS, CORNICES, AND/OR BALCONIES.

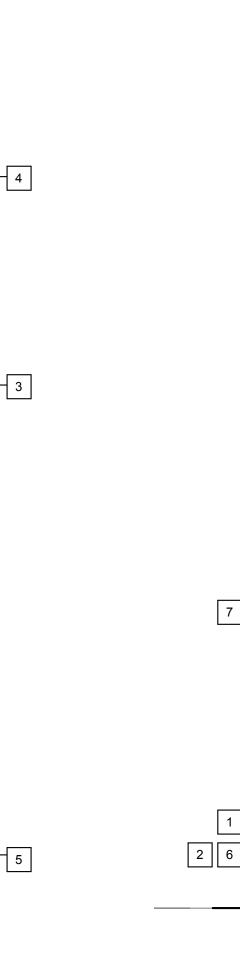
SPECIAL LANDSCAPING ELEMENTS PROVIDED TO MEET GREEN FACTOR REQUIREMENTS. (SEE LANDSCAPE SHEETS).

SPECIAL FENESTRATION TREATMENT, INCLUDING AN INCREASE IN THE PERCENTAGE OF WINDOWS AND DOORS TO AT LEAST 25 PERCENT OF THE STREET FACING FACADES.

FACADE OPENING CALCULATIONS

7 PER SMC 23.45.529 STREET FACING FACADES

STREET FACADE AREA 383.8 SF COMBINED OPENINGS (118.3 SF / 383.8 SF) 30.8% > 25% REQ.



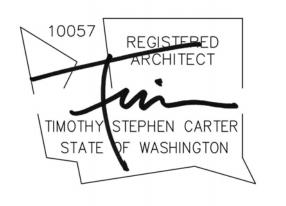
8' - 4" 10.8 SF 23.3 SF 10.0 SF 6.25 SF 26.6 SF 10.0 SF 6.25 SF (TYPICAL UNIT)

1	FACADE	OPENINGS	CALC.	DIAGRA	\ \
	SCALE: 1/4" = 1'-0"				

SDCI Approval Stamp

DATE **DESCRIPTION** SEPA INTAKE CY 1 CORRECTIONS





14th Ave NE Rowhouses DESIGN STANDARDS DIAGRAMS

SDCI Project Number	3030631 / 6633838
Issue Date	05/16/18
Drawn by	MB
Checked by	SM

G0-03

PACADE ARTICULATION DIAGRAM

SCALE: 1/4" = 1'-0"

31.6 SF

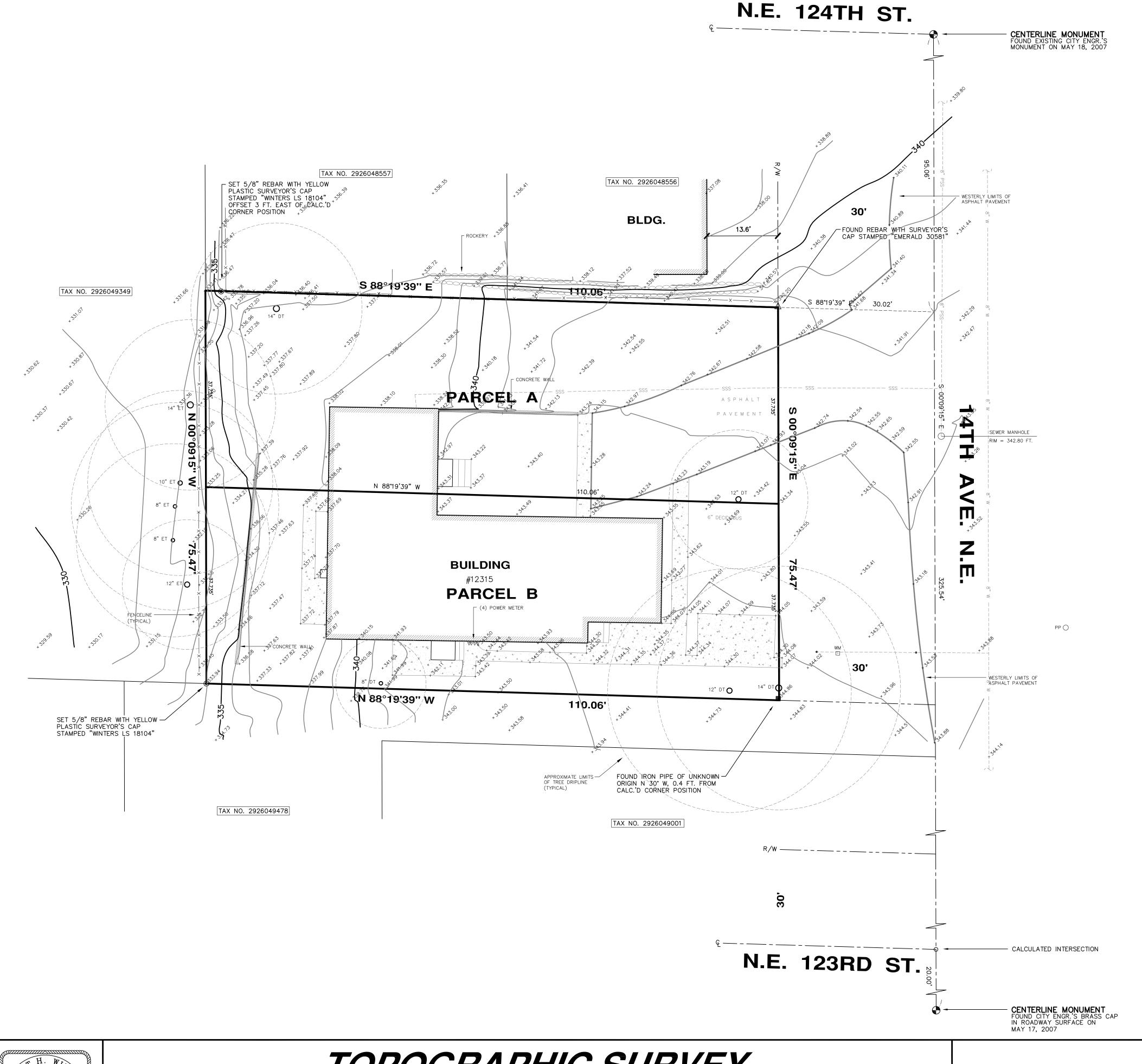
191. 7 SF

31.6 SF

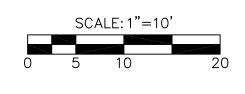
191. 7 SF

160.5 SF

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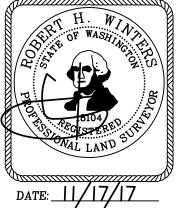
IORIH

NOTES

- 1. THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE USING A 10 SECOND "TOTAL STATION" THEODOLITE SUPPLEMENTED WITH A 100 FT. STEEL TAPE. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC CHAPTER 332-130-090.
- 2. CONTOUR INTERVAL = 1 FT.
- 3. ELEVATION DATUM = NAVD'88, AS PER DIRECT OBSERVATIONS USING GPS EQUIPMENT ON OCTOBER 26, 2017.
- 4. HORIZONTAL DATUM = NAD 83/91, AS PER DIRECT OBSERVATIONS USING GPS EQUIPMENT ON OCTOBER 26, 2017.
- 5. COMBINED PARCEL AREA = 8,301 SQ. FT.
- 6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THEREFORE EASEMENTS AFFECTING THE PROPERTY, IF ANY, ARE NOT SHOWN HEREON.
- 7. UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS APPROXIMATE ONLY AND IS BASED UPON CITY OF SEATTLE SEWER CARD NO. LC-271, CITY OF SEATTLE GIS AND ALSO AS PER TIES TO ABOVE GROUND STRUCTURES.
- 8. TAX PARCEL NO. 2926049210 & 2926049610
- 9. TREE DIAMETERS AND DRIPLINES DISPLAYED HEREON ARE APPROXIMATE. FOR SPECIFIC GENUS AND DIAMETER, TREES SHOULD BE EVALUATED BY A CERTIFIED ARBORIST.
- 10. WE HAVE DETERMINED TO THE BEST OF OUR ABILITY THE OVERHEAD HIGH VOLTAGE POWERLINE WHICH IS CLOSEST TO THE PROJECT SITE AND HAVE DISPLAYED ITS HORIZONTAL AND VERTICAL LOCATION HEREON. HOWEVER, ADDITIONAL OVERHEAD SERVICE LINES MAY EXIST WHICH ARE NOT OBVIOUS TO US BY FIELD OBSERVATION AND POTENTIALLY IMPACT PROJECT DESIGN. THEREFORE, PRIOR TO DESIGN AND CONSTRUCTION WE RECOMMEND THAT SEATTLE CITY LIGHT BE CONSULTED REGARDING THE POSSIBLE EXISTANCE OF ADDITIONAL SERVICE LINES NOT DISPLAYED HEREON WHICH SHOULD BE CONSIDERED FOR PROJECT DESIGN.

PROPERTY DESCRIPTION

PARCELS A AND B, CITY OF SEATTLE SHORT PLAT NO. 3007640, ACCORDING TO THE SHORT PLAT RECORDED UNDER RECORDING NO. 20080423900014, RECORDS OF KING COUNTY, WASHINGTON.



TOPOGRAPHIC SURVEY
12315 14TH AVE. N.E.
SEATTLE, WASHINGTON

CHADWICK WINTERS

LAND SURVEYING AND MAPPING

1422 N.W. 85TH ST., SEATTLE, WA 98117

PHONE: 206.297.0996

FAX: 206.297.0997

WEB: WWW.CHADWICKWINTERS.COM

PROJECT #: 17-5951

DRAWING: 17-5951TOPO.DWG

client: Dustin van Wyck

DATE: 11-16-17

drawn by: SAL

GRANTOR: NORTHWEST PROPERTY HOLDINGS, LLC.

2341 EASTLAKE AVE E. #110

IZABELLA PHILLIPS

CONTACT PERSON:

SEATTLE, WA 98102

206.297.0996

IZABELLAP@CHADWICKWINTERS.COM

GRANTEE:

CITY OF SEATTLE KING CO., WA.

ABBREVIATED LEGAL:

PARCELS A AND B, CITY OF SEATTLE SHORT PLAT NO. 3007640, RECORDED UNDER RECORDING NO. 20080423900014

PROPERTY ADDRESS:

12315 14TH AVE. N.E.

ASSESSOR'S PARCEL #: 2926049210 & 2926049610

REFERENCE NO.'S FOR RELATED PROJECTS:

APPROVAL:

CITY OF SEATTLE

SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS NATHAN TORGELSON, DIRECTOR

EXAMINED AND APPROVED THIS 76 DAY OF THOUTH

APPROVAL OF THIS LOT BOUNDARY ADJUSTMENT BY THE DIRECTOR OF THE SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS UNDER CHAPTER 23.28 OF THE SEATTLE MUNICIPAL CODE, AS AMENDED, IS NOT TO BE CONSTRUED AS SATISFACTION OF ANY OTHER APPLICABLE LEGISLATION OR REGULATIONS.

KING COUNTY DEPT. OF ASSESSMENTS

EXAMINED AND APPROVED THIS_

NOTES:

- 1. THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE USING A 10 SECOND "TOTAL STATION" THEODOLITE SUPPLEMENTED WITH A 100 FT, STEEL TAPE. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC CHAPTER 332-130-090.
- 2. BASIS OF BEARINGS = S 00°09'15" E BETWEEN THE TWO FOUND MONUMENTS IN THE CENTERLINE OF 14TH AVE. N.E. AS SHOWN HEREON.
- 3. THE EXISTING STRUCTURES AS SHOWN ON SHEET 3 ARE TO BE LEGALLY REMOVED UNDER SEPARATE PERMIT PRIOR TO LOT SALE OR TRANSFER OF OWNERSHIP.
- 4. THERE IS NO AVAILABLE OFF-SITE POINT OF DISCHARGE FOR DRAINAGE. IN ORDER TO DEMONSTRATE ADEQUACY OF DRAINAGE FOR THE ADJUSTED LOTS AS REQUIRED BY SMC 23.28.030.A.5, A DRAINAGE AND WASTEWATER PLAN, A DRAINAGE REPORT, AND A INFILTRATION ASSESSMENT WAS PREPARED TO DEMONSTRATE THAT ON-SITE INFILTRATION TO MEET THE REQUIREMENTS OF THE 2016 SEATTLE STORMWATER MANUAL, VOLUME 3, SECTION 4.3.2.1 IS FEASIBLE FOR THE DEVELOPMENT ON THE ADJUSTED LOTS. A FINAL DRAINAGE AND WASTEWATER CONTROL PLAN, DRAINAGE REPORT, AND INFILTRATION ASSESSMENT WILL BE REQUIRED FOR ALL FUTURE CONSTRUCTION PERMITS ON THE PROPOSED PARCELS TO DEMONSTRATE THAT DRAINAGE WILL BE INFILTRATED ON-SITE.

DECLARATION:

WE THE UNDERSIGNED, OWNER(S) IN FEE SIMPLE [AND CONTRACT PURCHASER(S)] OF THE LAND HEREIN DESCRIBED DO HEREBY MAKE A LOT BOUNDARY ADJUSTMENT THEREOF PURSUANT TO RCW 58.17.040 AND DECLARE THIS LOT BOUNDARY ADJUSTMENT TO BE THE GRAPHIC REPRESENTATION OF SAME, AND THAT SAID LOT BOUNDARY ADJUSTMENT IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE OWNER(S). IN WITNESS WHEREOF WE HAVE SET OUR HANDS AND SEALS.

NAME: June Votto

NAME: Fan Porter its Member

STATE OF WASHINGTON)

PURPOSES THEREIN MENTIONED.

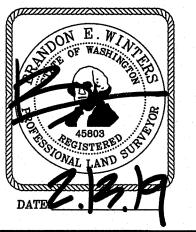
ON THIS 12th DAY OF FUNDAND 2019 BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED Lan POYTO TO ME KNOWN TO BE THE INDIVIDUAL DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR HIMSELF, AND ACKNOWLEDGED TO ME THAT HE SIGNED AND SEALED THE SAME AS HIS VOLUNTARY ACT FOR THE USES AND

WITNESS MY HAND AND OFFICIAL SEAL HERETO AFFIXED THE DAY AND YEAR IN THIS CERTIFICATE ABOVE WRITTEN.

V IZABELLA PHILLIPS Notary Public State of Washington My Appointment Expires Jul 30, 2021

V. Challe Pullipa

RESIDING AT SCATTLY WA



RECORDING CERTIFICATE

FILED FOR RECORD THIS 6th DAY OF MACO 2019
AT 5:53 A.M. IN VOLUME 400 OF SURVEYS, PAGE 35.45 AT THE REQUEST OF CHADWICK & WINTERS.

DEPARTMENT OF RECORDS & ELECTIONS

MANAGER

SURVEYOR'S CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING BEQUEST OF DUSTIN VAN WYCK.

CHADWICK WINTERS

LAND SURVEYING AND MAPPING

1422 N.W. 85TH ST., SEATTLE, WA 98117 PHONE: 206.297.0996

FAX: 206.297.0997 WEB: WWW.CHADWICKWINTERS.COM

SURVEY IN: NE 1/4, NE 1/4, SEC. 29, T. 26 N., R. 4 E., W.M. KING COUNTY, WASHINGTON

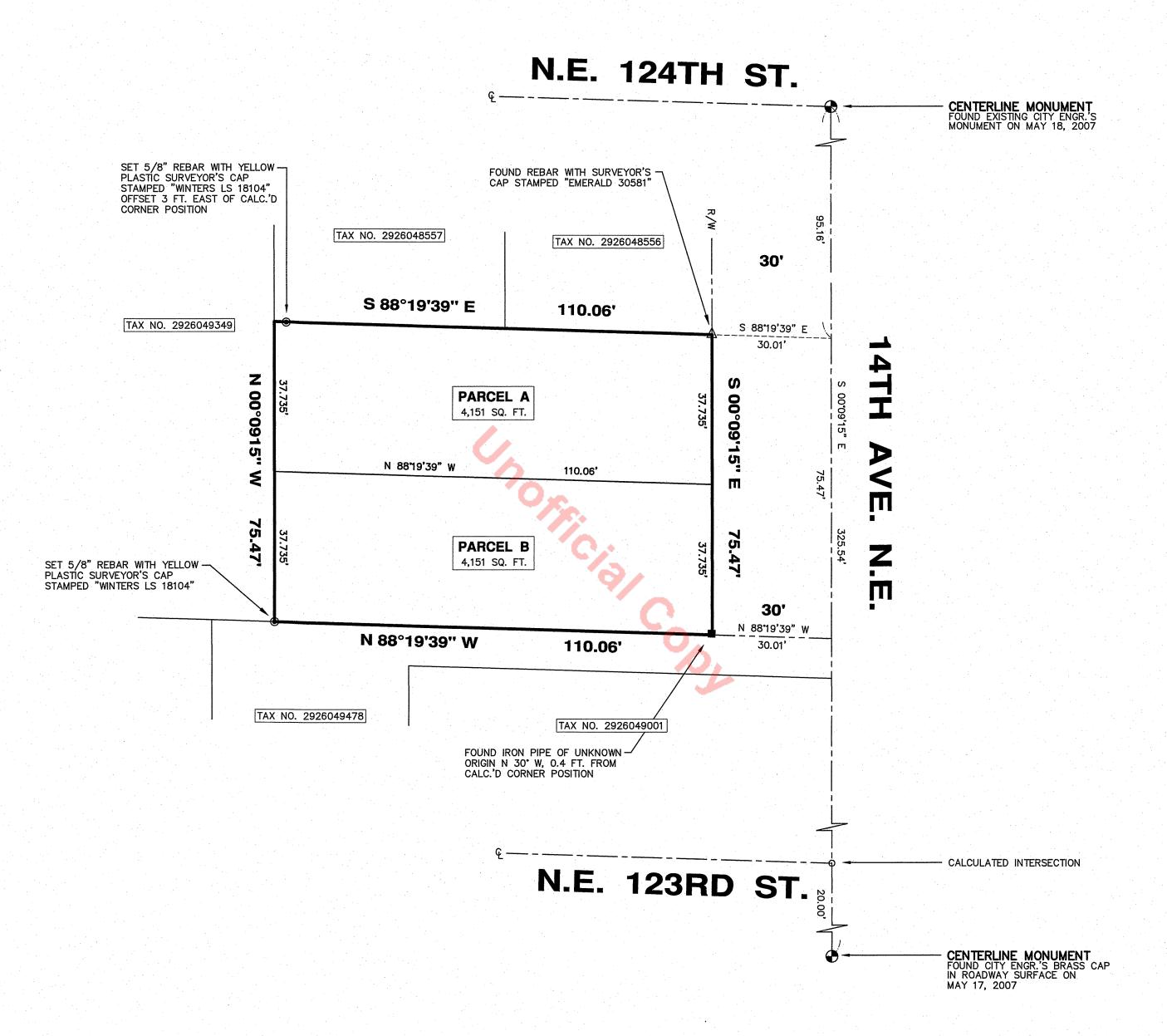
17-5951X.DWG

DRAWN BY: SAL DATE: 02-28-18 PROJECT #: 17-5951 CHK. BY: RHW SCALE: N/A SHEET: 1 OF 8

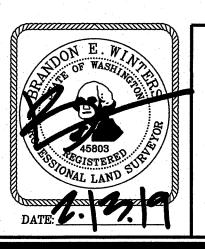
NORTH

SCALE: 1"=20'

LOT BOUNDARY ADJUSTMENT NO. 3030770-LU



BLOCK & ORIGINAL PARCEL DETAIL



CHADWICK WINTERS

LAND SURVEYING AND MAPPING

1422 N.W. 85TH ST., SEATTLE, WA 98117 PHONE: 206.297.0996

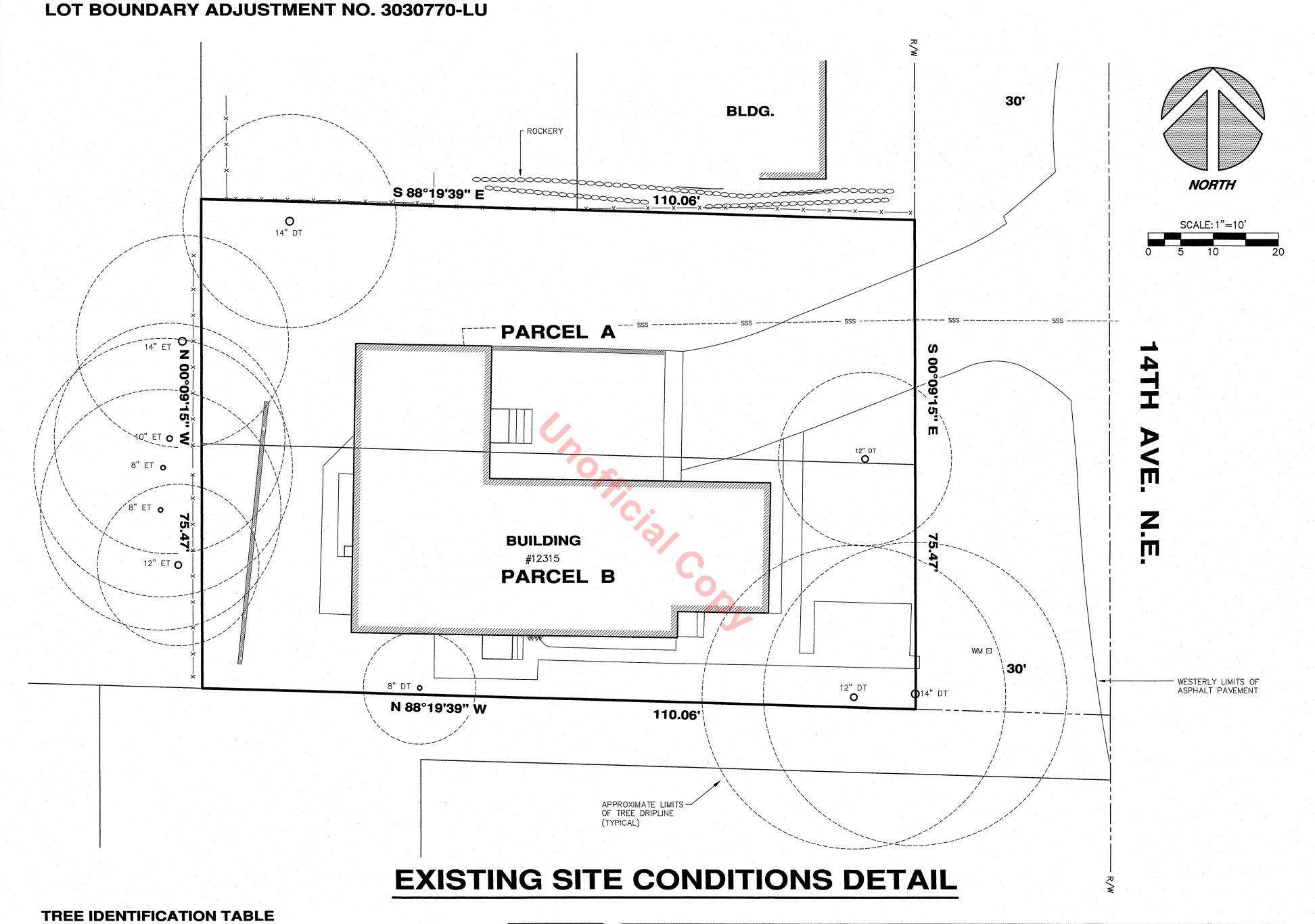
PHONE: **206.297.0996**FAX: **206.297.0997**WEB: **WWW.CHADWICKWINTERS.COM**

SURVEY IN:

NE 1/4, NE 1/4, SEC. 29, T. 26 N., R. 4 E., W.M.
KING COUNTY, WASHINGTON

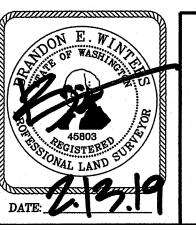
17-595	51X.DWG

DRAWN BY: SAL	<i>DATE</i> : 02–28–18	PROJECT #: 17-5951
CHK. BY: RHW	SCALE: 1" = 20'	SHEET: 2 OF 8



SOURCE: RYAN RINGE PN 5892-A, ARBOR OPTIONS, LLC.

I.D. #	DIAMETER	TREE NAME	BOTANICAL NAME
1	8.6"	SWEET CHERRY	PRUNUS AVIUM
2	14.9"	AMERICAN ELM	ULMUS AMERICANA
3	12.2"	AMERICAN ELM	ULMUS AMERICANA
4	7.8"	AMERICAN ELM	ULMUS AMERICANA
5	10.9"	COMMON HAWTHORN	CRATAEGUS MONOGYNA



CHADWICK WINTERS

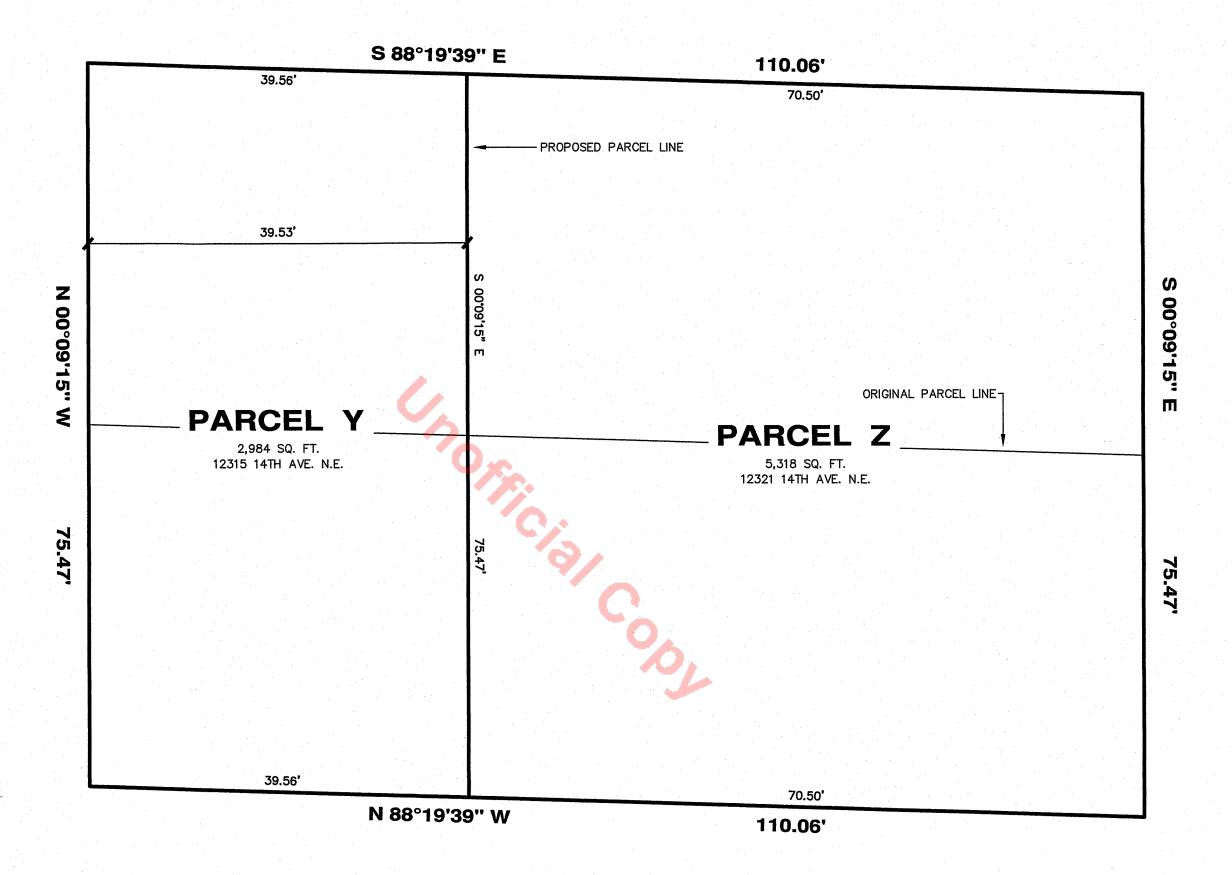
LAND SURVEYING AND MAPPING 1422 N.W. 85TH ST., SEATTLE, WA 98117

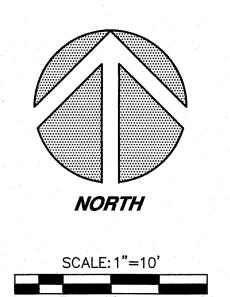
PHONE: **206.297.0996**FAX: **206.297.0997**WEB: **WWW.CHADWICKWINTERS.COM**

SURVEY IN: NE 1/4, NE 1/4, SEC. 29, T. 26 N., R. 4 E., W.M. KING COUNTY, WASHINGTON

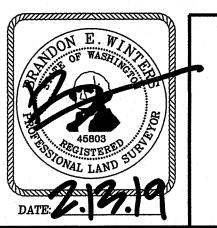
17-5951Y.DWG

<i>DRAWN BY</i> : SAL	DATE:	02-28-18	<i>PROJECT</i> #: 17-5951
CHK. BY: RHW	SCALE:	1" = 10'	SHEET: 3 OF 8





ADJUSTED PARCEL DETAIL



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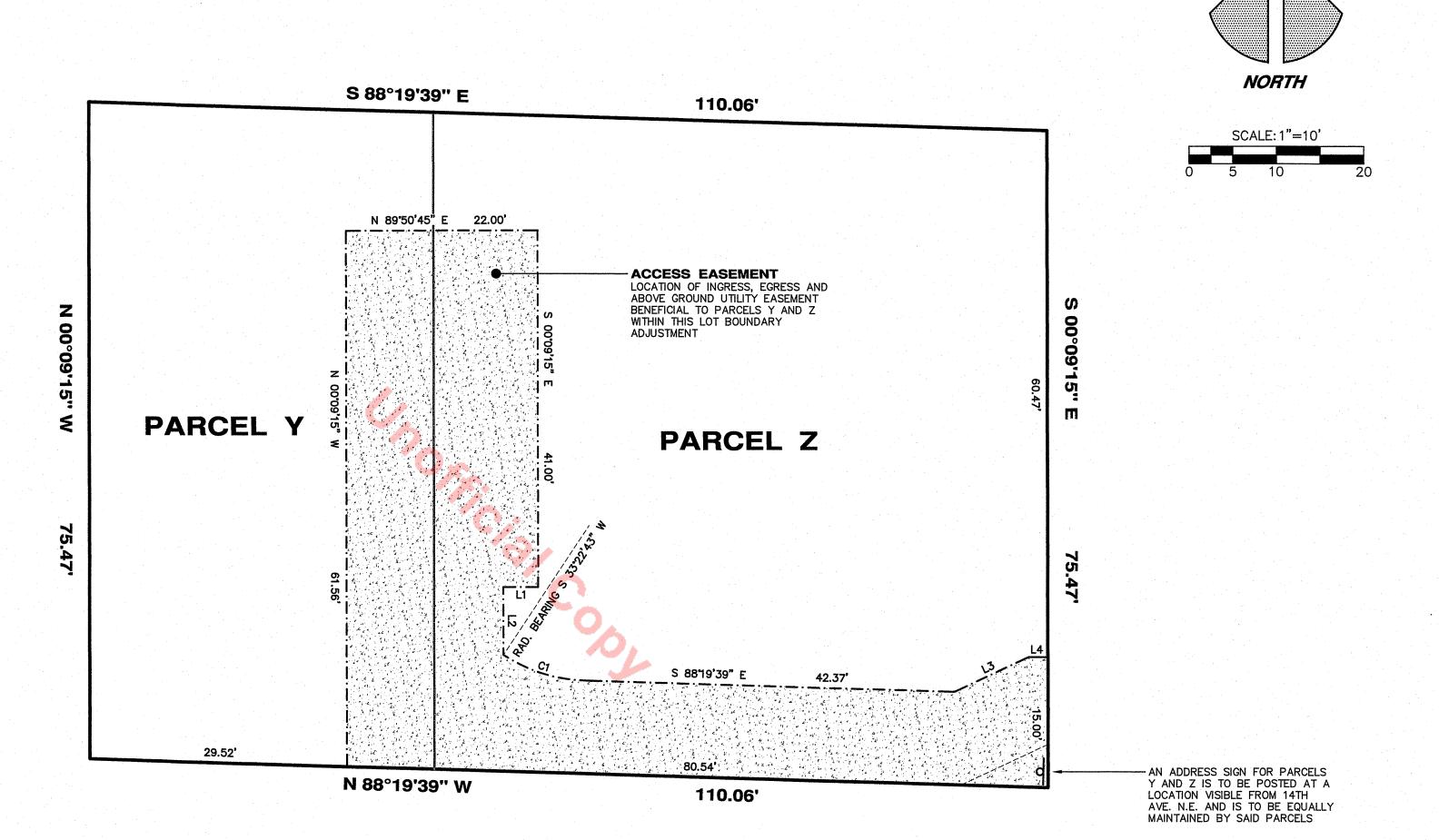
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NE 1/4, NE 1/4, SEC. 29, T. 26 N., R. 4 E., W.M.
KING COUNTY, WASHINGTON

17-5951 Y.DWG

DRAWN BY: SAL	DATE:	02-28-18	<i>PROJECT #:</i> 17-5951
CHK. BY: RHW	SCALE:	1" = 10'	SHEET: 4 OF 8



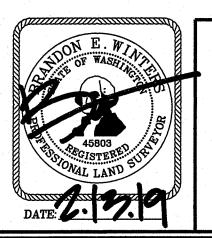
ACCESS EASEMENT DETAIL

CURVE TABLE

		,		,
CURVE	LENGTH	RADIUS	DELTA	
C1	10.00'	17.83	32°08'28"	

LINE TABLE

Г	LINE	LENGTH	BEARING
	L1	4.00'	S 89°50'45" W
	L2	7.80'	S 00°09'15" E
	L3	9.40'	N 64°44'56" E
	L4	2.22'	N 89°50'45" E



CHADWICK WINTERS

LAND SURVEYING AND MAPPING

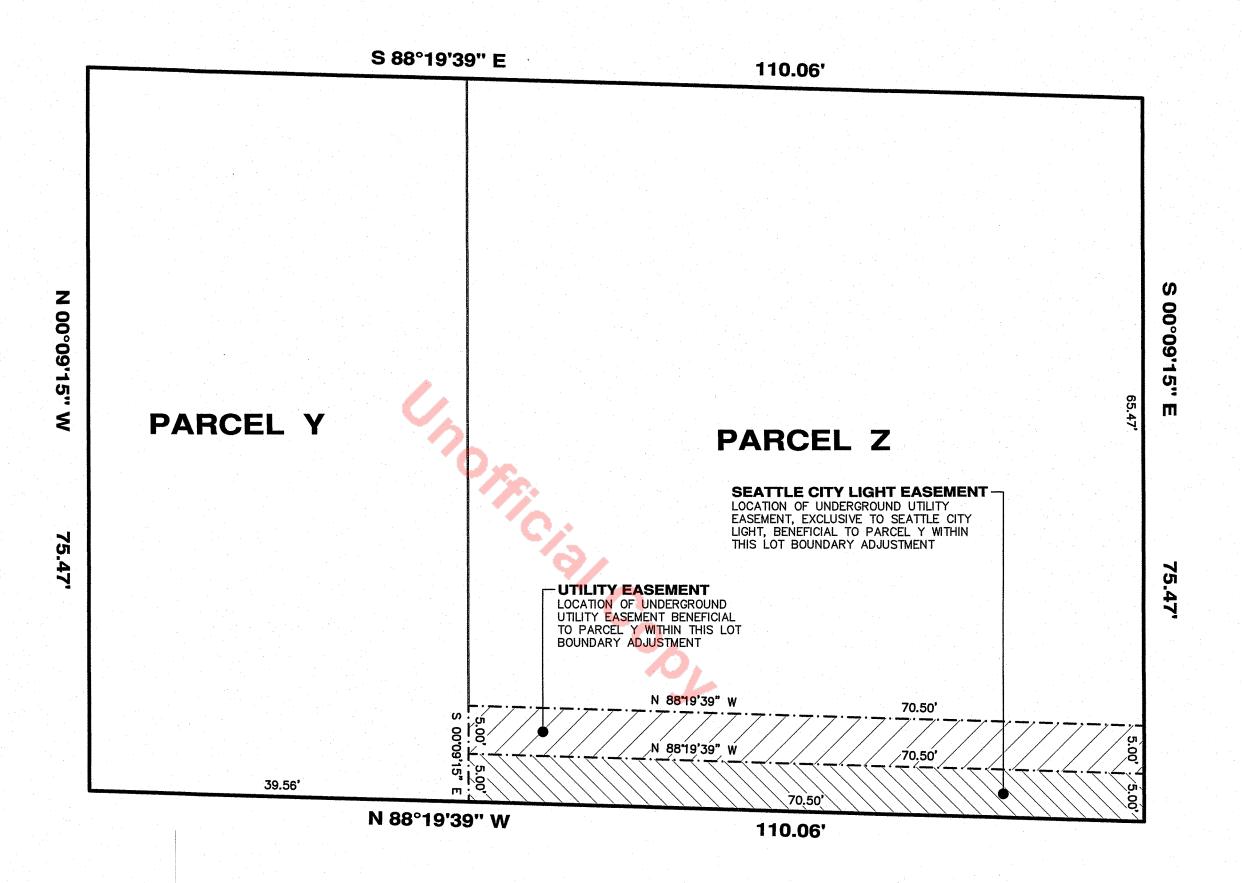
1422 N.W. 85TH ST., SEATTLE, WA 98117
PHONE: 206.297.0996

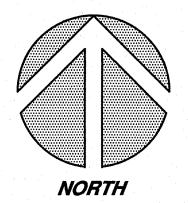
FAX: 206.297.0997
WEB: WWW.CHADWICKWINTERS.COM

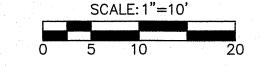
SURVEY IN: NE 1/4, NE 1/4, SEC. 29, T. 26 N., R. 4 E., W.M. KING COUNTY, WASHINGTON

<i>DRAWN BY</i> : SAL	DATE:	02-28-18	<i>PROJECT</i> #: 17-5951
<i>СНК. ВҮ</i> : RHW	SCALE:	1" = 10'	SHEET: 5 OF 8

17-5951Y.DWG







EASEMENT DETAILS

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA
C1	10.00'	17.83	32°08'28"

LINE TABLE

LINE	LENGTH	BEARING
L1	4.00'	S 89°50'45" W
L2	7.80'	S 00°09'15" E
L3	9.40'	N 64°44'56" E
<u>l 4</u>	2 22'	N 89°50'45" F

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SURVEY IN:
NE 1/4, NE 1/4, SEC. 29, T. 26 N., R. 4 E., W.M.
KING COUNTY, WASHINGTON

17-5951Y.DWG

DRAWN BY: SAL	<i>DATE</i> : 02–28–18	PROJECT #: 17-5951
CHK. BY: RHW	SCALE: 1" = 10'	SHEET: 6 OF 8

EXISTING PARCEL DESCRIPTIONS

PARCEL A (4,151 SQ. FT.)

PARCEL A, CITY OF SEATTLE SHORT PLAT NO. 3007640, ACCORDING TO THE SHORT PLAT RECORDED UNDER RECORDING NO. 20080423900014, RECORDS OF KING COUNTY, WASHINGTON.

PARCEL B (4,151 SQ. FT.)

PARCEL B, CITY OF SEATTLE SHORT PLAT NO. 3007640, ACCORDING TO THE SHORT PLAT RECORDED UNDER RECORDING NO. 20080423900014, RECORDS OF KING COUNTY, WASHINGTON.

ADJUSTED PARCEL DESCRIPTIONS

PARCEL Y (2,984 SQ. FT.)

THE WEST 39.53 FT. OF PARCELS A AND B, CITY OF SEATTLE SHORT PLAT NO. 3007640, ACCORDING TO THE SHORT PLAT RECORDED UNDER RECORDING NO. 20080423900014, RECORDS OF KING COUNTY, WASHINGTON.

SUBJECT TO AND TOGETHER WITH AN EASEMENT FOR INGRESS, EGRESS, ADDRESS SIGN AND UTILITIES AS SHOWN AND DESCRIBED AS "ACCESS EASEMENT" UPON THIS CITY OF SEATTLE LOT BOUNDARY ADJUSTMENT

TOGETHER WITH AN EASEMENT, EXCLUSIVE TO SEATTLE CITY LIGHT, FOR UNDERGROUND UTILITIES AS SHOWN AND DESCRIBED AS "SEATTLE CITY LIGHT EASEMENT" UPON THIS CITY OF SEATTLE LOT BOUNDARY ADJUSTMENT

TOGETHER WITH AN EASEMENT FOR UNDERGROUND UTILITIES AS SHOWN AND DESCRIBED AS "UTILITY EASEMENT" UPON THIS CITY OF SEATTLE LOT BOUNDARY ADJUSTMENT

PARCEL Z (5,318 SQ. FT.)

PARCELS A AND B, CITY OF SEATTLE SHORT PLAT NO. 3007640, ACCORDING TO THE SHORT PLAT RECORDED UNDER RECORDING NO. 20080423900014, RECORDS OF KING COUNTY, WASHINGTON.

EXCEPT THE WEST 39.53 FT. THEREOF.

SUBJECT TO AND TOGETHER WITH AN EASEMENT FOR INGRESS, EGRESS, ADDRESS SIGN AND UTILITIES AS SHOWN AND DESCRIBED AS "ACCESS EASEMENT" UPON THIS CITY OF SEATTLE LOT BOUNDARY ADJUSTMENT

SUBJECT TO AN EASEMENT, EXCLUSIVE TO SEATTLE CITY LIGHT, FOR UNDERGROUND UTILITIES AS SHOWN AND DESCRIBED AS "SEATTLE CITY LIGHT EASEMENT" UPON THIS CITY OF SEATTLE LOT BOUNDARY ADJUSTMENT

SUBJECT TO AN EASEMENT FOR UNDERGROUND UTILITIES AS SHOWN AND DESCRIBED AS "UTILITY EASEMENT" UPON THIS CITY OF SEATTLE LOT BOUNDARY ADJUSTMENT

ACCESS EASEMENT

AN EASEMENT FOR INGRESS, EGRESS, ADDRESS SIGN AND ABOVE GROUND UTILITIES BENEFICIAL TO ALL PARCELS WITHIN THIS LOT BOUNDARY ADJUSTMENT

THAT PORTION OF PARCELS A AND B, CITY OF SEATTLE SHORT PLAT NO. 3007640, ACCORDING TO THE SHORT PLAT RECORDED UNDER RECORDING NO. 20080423900014, RECORDS OF KING COUNTY, WA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

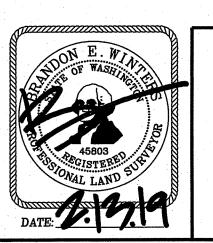
BEGINNING AT THE S.E. CORNER OF SAID PARCEL B; THENCE N 88'19'39" W ALONG THE SOUTH LINE OF SAID PARCEL FOR A DISTANCE OF 80.54 FT.; THENCE N 00'09'15" W, 61.56 FT.; THENCE N 89°50'45" E, 22.00 FT.; THENCE S 00°09'15" E, 41.00 FT.; THENCE S 89°50'45" W, 4.00 FT.; THENCE S 00°09'15" E, 7.80 FT. TO A POINT OF NON—TANGENT CURVATURE; THENCE EASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIAL BEARING OF N 33°22'43" E, A CENTRAL ANGLE OF 32°08'28" AND A RADIUS OF 17.83 FT. FOR A DISTANCE OF 10.00 FT.; THENCE S 88°19'39" E, 42.37 FT.; THENCE N 64°44'56" E, 9.40 FT.; THENCE N 89°50'45" E, 2.22 FT.; THENCE S 00°09'15" E, 15.00 FT. TO THE POINT OF BEGINNING.

UTILITY EASEMENT

AN EASEMENT FOR UNDERGROUND UTILITIES BENEFICIAL TO PARCEL Y WITHIN THIS LOT BOUNDARY ADJUSTMENT

THAT PORTION OF PARCEL B, CITY OF SEATTLE SHORT PLAT NO. 3007640, ACCORDING TO THE SHORT PLAT RECORDED UNDER RECORDING NO. 20080423900014, RECORDS OF KING COUNTY, WA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE S.E. CORNER OF SAID PARCEL B; THENCE N 88°19'39" W ALONG THE SOUTH LINE OF SAID PARCEL FOR A DISTANCE OF 70.50 FT.; THENCE N 00°09'15" W, 5.00 FT.; THENCE S 88°19'39" E, 70.50 FT.; THENCE S 00°09'15" E, 5.00 FT. TO THE **POINT OF BEGINNING**.



CHADWICK WINTERS

LAND SURVEYING AND MAPPING

1422 N.W. 85TH ST., SEATTLE, WA 98117

PHONE: **206.297.0996**FAX: **206.297.0997**WEB: **WWW.CHADWICKWINTERS.COM**

SURVEY IN:
NE 1/4, NE 1/4, SEC. 29, T. 26 N., R. 4 E., W.M.
KING COUNTY, WASHINGTON

17-5951Y.DW

 DRAWN BY:
 SAL
 DATE:
 02-28-18
 PROJECT #: 17-5951

 CHK. BY:
 RHW
 SCALE:
 N/A
 SHEET:
 7 OF 8

EASEMENT MAINTENANCE AGREEMENT

SAID EASEMENTS OF THIS SHORT PLAT TO BE EQUALLY MAINTAINED, REPAIRED, AND/OR REBUILT BY THE OWNERS OF THE PARCELS HAVING LEGAL ACCESS AND UTILITY SERVICE THEREFROM AND THEIR HEIRS, ASSIGNS AND SUCCESSORS.

INDIVIDUAL UTILITY SERVICE LINES, INCLUDING STORM AND SANITARY SIDE SEWER LINES, ARE THE SOLE RESPONSIBILITY OF THE OWNERS OF THE UNIT OR PARCEL THE INDIVIDUAL SERVICE LINE SERVES. UTILITY SERVICE LINES WHICH SERVICE MORE THAN ONE UNIT OR PARCEL SHALL BE EQUALLY MAINTAINED, REPAIRED, AND/OR REBUILT BY THE OWNERS OF THE UNITS OR PARCELS SERVICED.

THIS MAINTENANCE AGREEMENT COVERS NORMAL USAGE, WEAR AND TEAR, AND LIFE EXPECTANCY OF MATERIALS. ANY DAMAGE INCURRED BY AN INDIVIDUAL OWNER SHALL BE REPAIRED AND/OR RESTORED TO PRE DAMAGED CONDITION WITHIN 30 DAYS. THE OWNER WHICH INCURRED THE DAMAGE SHALL BE SOLELY RESPONSIBLE FOR THE COST OF REPAIR OR REPLACEMENT OF THE MATERIALS. IN NO EVENT SHALL ACCESS OR UTILITY SERVICE BE DENIED OTHER PROPERTY OWNERS OF SAID EASEMENTS FOR MORE THAN 24 HOURS

ADDRESS SIGN MAINTENANCE AGREEMENT

ANY PARCEL BENEFITING FROM THE POSTING OF THE ADDRESS SIGN AS SHOWN HEREON IS RESPONSIBLE FOR THE MAINTENANCE, SHARING EQUALLY IN THE COST OF REPAIR AND \OR MAINTENANCE TO SAID ADDRESS SIGN.

SEATTLE CITY LIGHT EASEMENT

CITY OF SEATTLE LAND USE ACTION NO. 3030770-LU EASEMENT (OVERHEAD AND UNDERGROUND) KING COUNTY ASSESSOR'S TAX PARCEL NO. 2926049210 & 2926049610

THE OWNER OF THE REAL PROPERTY THAT IS THE SUBJECT OF THIS LAND USE ACTION ("GRANTOR") HEREBY GRANTS TO THE CITY OF SEATTLE ("GRANTEE") AND THE RIGHT, PRIVILEGE AND AUTHORITY (AN "EASEMENT") TO INSTALL, CONSTRUCT, ERECT, RECONSTRUCT, ALTER, IMPROVE, REMOVE, REPAIR, REPLACE, ENERGIZE, OPERATE, AND MAINTAIN OVERHEAD AND UNDERGROUND ELECTRIC DISTRIBUTION FACILITIES, WHICH MAY CONSIST OF, BUT ARE NOT LIMITED TO: POLES WITH BRACES, GUY WIRES AND ANCHORS, CROSS ARMS, TRANSFORMERS, DUCTS, VAULTS, MANHOLES, SWITCHES, CABINETS, CONTAINERS, CONDUITS, WIRES AND OTHER CONVENIENT APPURTENANCES NECESSARY TO MAKE SAID OVERHEAD AND UNDERGROUND DISTRIBUTION FACILITIES AN INTEGRATED ELECTRIC SYSTEM ("ELECTRIC SYSTEM"). ALL SUCH ELECTRIC SYSTEM SHALL BE LOCATED ACROSS, OVER, UPON AND UNDER THE REAL PROPERTY DESCRIBED WITHIN THIS LAND USE ACTION ("PROPERTY") SITUATED IN THE COUNTY OF KING, STATE OF WASHINGTON, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PORTION OF PARCEL B, CITY OF SEATTLE SHORT PLAT NO. 3007640, ACCORDING TO THE SHORT PLAT RECORDED UNDER RECORDING NO. 20080423900014, RECORDS OF KING COUNTY, WA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE S.E. CORNER OF SAID PARCEL B; THENCE N 88°19'39" W ALONG THE SOUTH LINE OF SAID PARCEL FOR A DISTANCE OF 70.50 FT.; THENCE N 00°09'15" W, 5.00 FT.; THENCE S 88°19'39" E, 70.50 FT.; THENCE S 00°09'15" E, 5.00 FT. TO THE **POINT OF BEGINNING**.

(ALSO BEING KNOWN AS THE SOUTH 5 FT. OF PARCEL Z OF THIS CITY OF SEATTLE SHORT SUBDIVISION NO. 3030770—LU WHICH SHALL BE OCCUPIED AND CONTROLLED EXCLUSIVELY BY SEATTLE CITY LIGHT, A DEPARTMENT OF THE CITY OF SEATTLE.)

TOGETHER WITH GRANTEE'S AND ITS ASSIGNS' UNRESTRICTED RIGHT OF ACCESS TO AND FROM THE PROPERTY FOR THE PURPOSES OF EXERCISING ITS RIGHTS GRANTED HEREIN.

TOGETHER WITH GRANTEE'S AND ITS ASSIGNS' RIGHT TO CUT AND TRIM BRUSH, TREES OR OTHER PLANTS STANDING OR GROWING UPON THE PROPERTY WHICH, IN THE OPINION OF THE GRANTEE, INTERFERE WITH THE MAINTENANCE OR OPERATION OF, OR CONSTITUTE A MENACE OR DANGER TO, THE ELECTRIC SYSTEM.

GRANTOR, ITS SUCCESSORS AND ASSIGNS, COVENANTS AND AGREES THAT NO STRUCTURE OR FIRE HAZARDS WILL BE BUILT OR PERMITTED WITHIN THE EASEMENT AREA(S) DESCRIBED ABOVE; THAT NO DIGGING WILL BE DONE OR PERMITTED WITHIN THE PROPERTY WHICH WILL IN ANY MANNER DISTURB GRANTEE'S ELECTRIC SYSTEM OR ITS SOLIDITY OR UNEARTH ANY PORTION THEREOF; AND THAT NO BLASTING OR DISCHARGE OF ANY EXPLOSIVES WILL BE PERMITTED WITHIN FIFTY (50) FEET OF THE ELECTRIC SYSTEM.

THE CITY OF SEATTLE SHALL BE RESPONSIBLE, AS PROVIDED BY LAW, FOR ANY DAMAGE TO THE GRANTOR THROUGH ITS NEGLIGENCE IN THE CONSTRUCTION, MAINTENANCE AND OPERATION OF THE ELECTRIC SYSTEM.

THE RIGHTS, TITLE, PRIVILEGES AND AUTHORITY HEREBY GRANTED SHALL CONTINUE AND BE IN FORCE UNTIL THE GRANTEE PERMANENTLY REMOVES ITS ELECTRIC SYSTEM FROM THE PROPERTY OR PERMANENTLY ABANDONS THE ELECTRIC SYSTEM, AT WHICH TIME ALL SUCH RIGHTS, TITLE, PRIVILEGES AND AUTHORITY HEREBY GRANTED SHALL TERMINATE.



CHADWICK WINTERS

LAND SURVEYING AND MAPPING

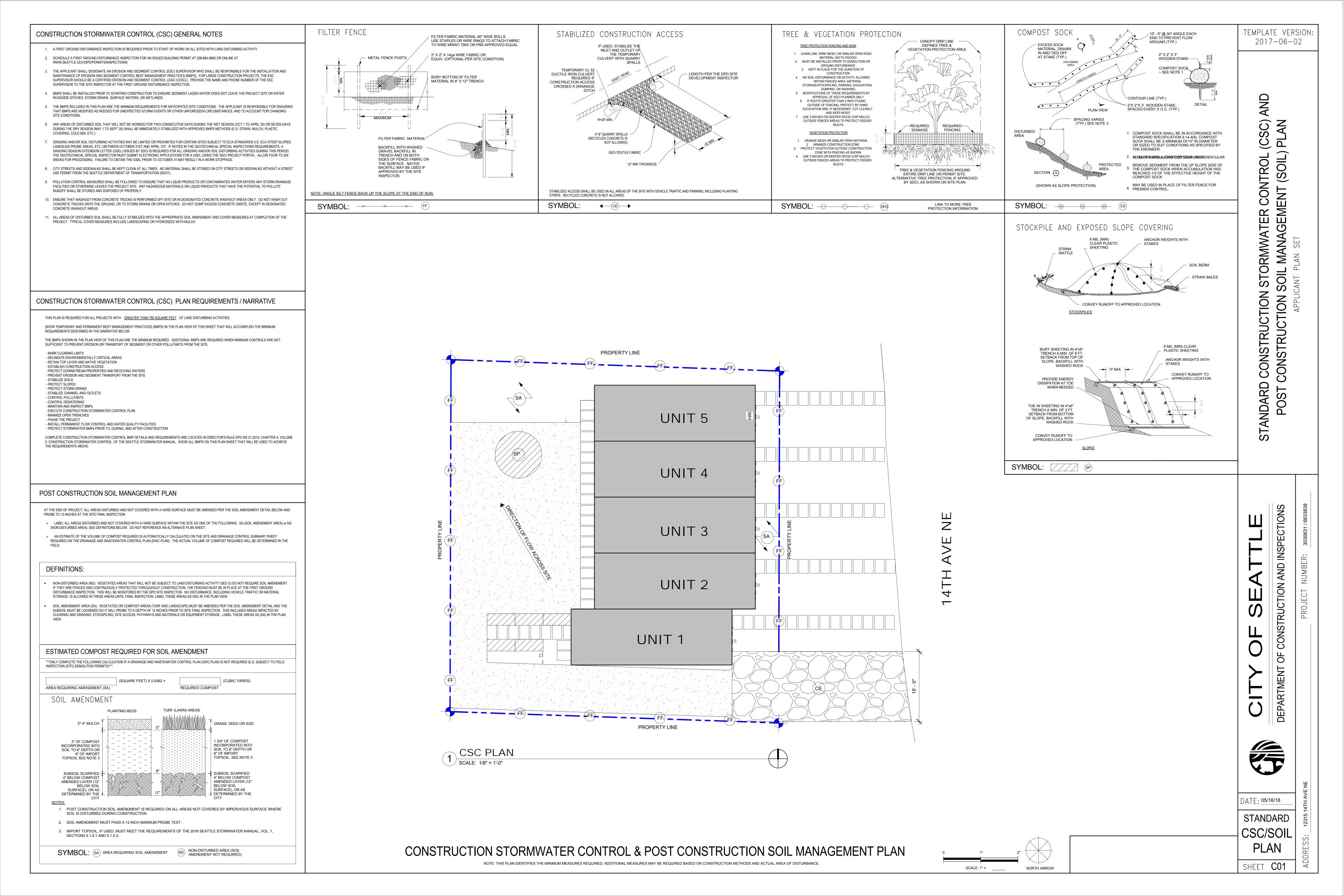
1422 N.W. 85TH ST., SEATTLE, WA 98117

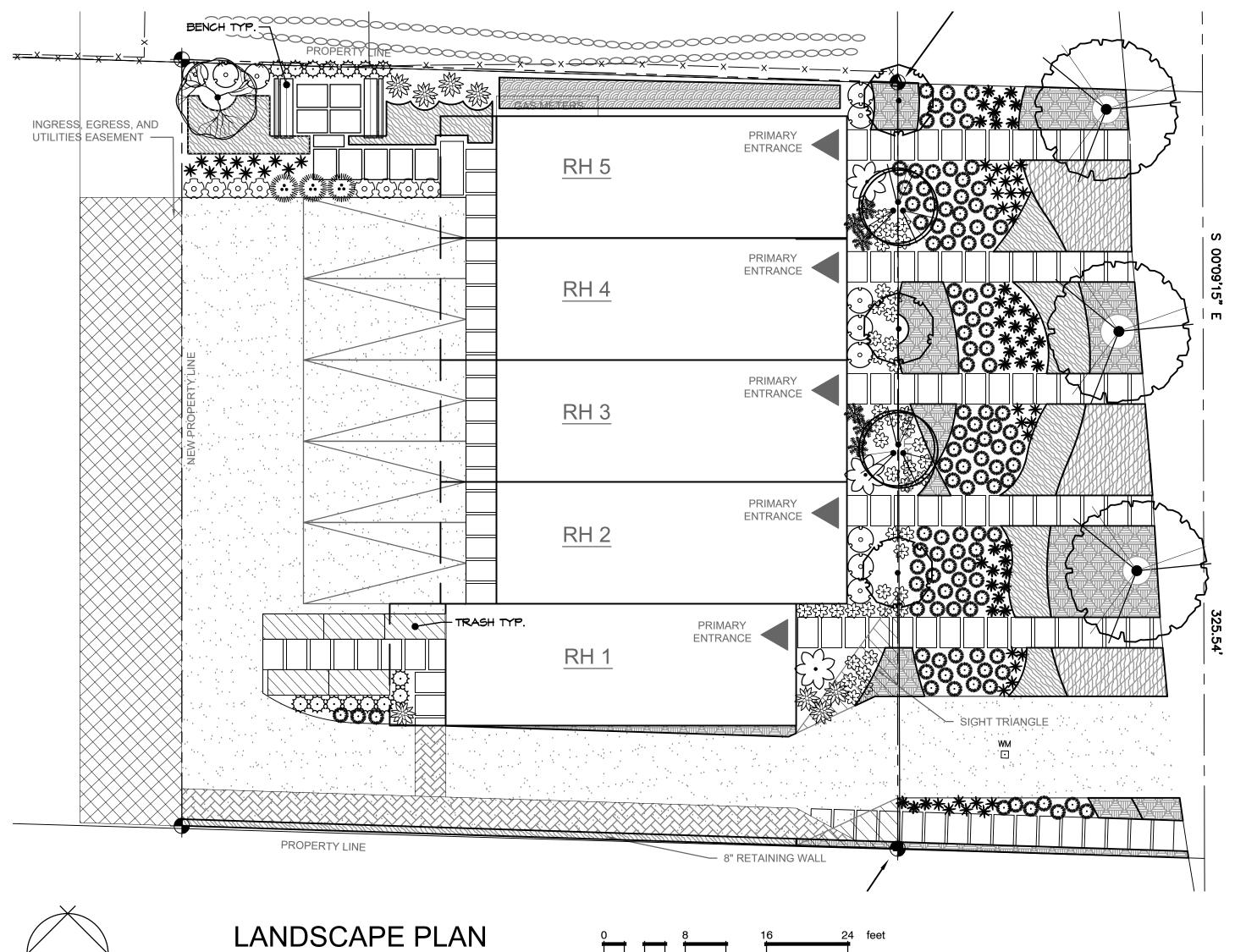
PHONE: 206.297.0996 FAX: 206.297.0997 WEB: WWW.CHADWICKWINTERS.COM SURVEY IN: NE 1/4, NE 1/4, SEC. 29, T. 26 N., R. 4 E., W.M. KING COUNTY, WASHINGTON

17-5951Y.DWG

 DRAWN BY:
 SAL
 DATE:
 02-28-18
 PROJECT #: 17-5951

 CHK. BY:
 RHW
 SCALE:
 N/A
 SHEET:
 8 OF 8





SCALE: 1/8" = 1'-0"

NORTH

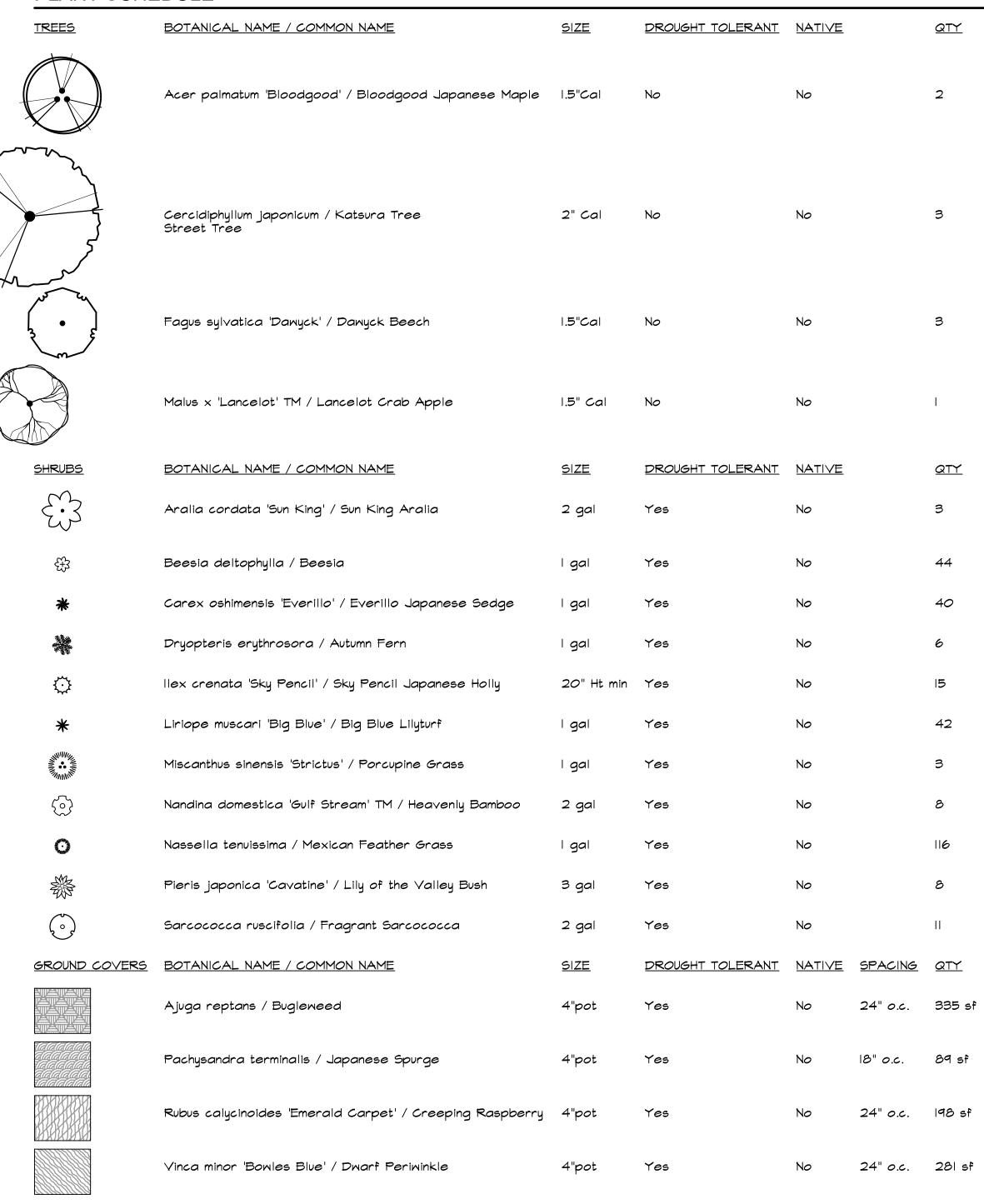
-See soil amendment detail for soil specifications COS plan 142. -See biorentention planter detail for bioretention specifications.

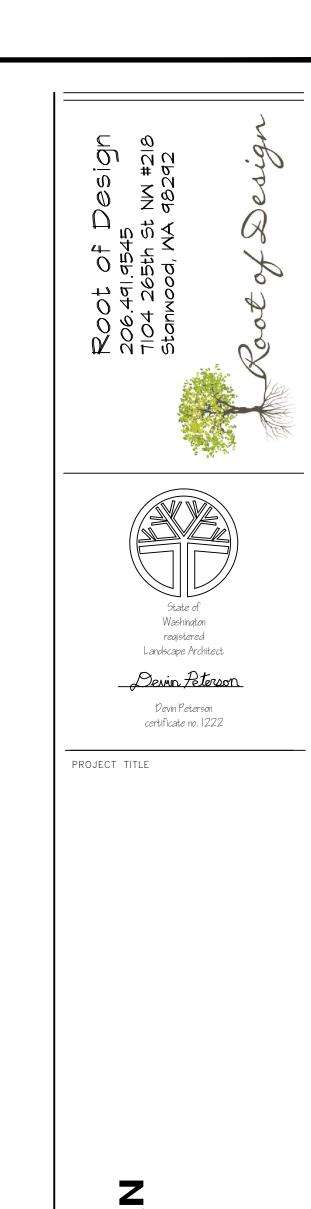
-All planting beds to receive minimum 3-4" of mulch.

-Contractor shall be responsible for providing the quantities of plants that are represented

by symbols on the drawings.
-Street Tree required. Plant Street Tree per COS Plan 100a. Contractor to contact SDOT at 684-TREE at least two working days before planting for inspection and permit sign-off.
Water Tree for 3 growing seasons after planting.

PLANT SCHEDULE

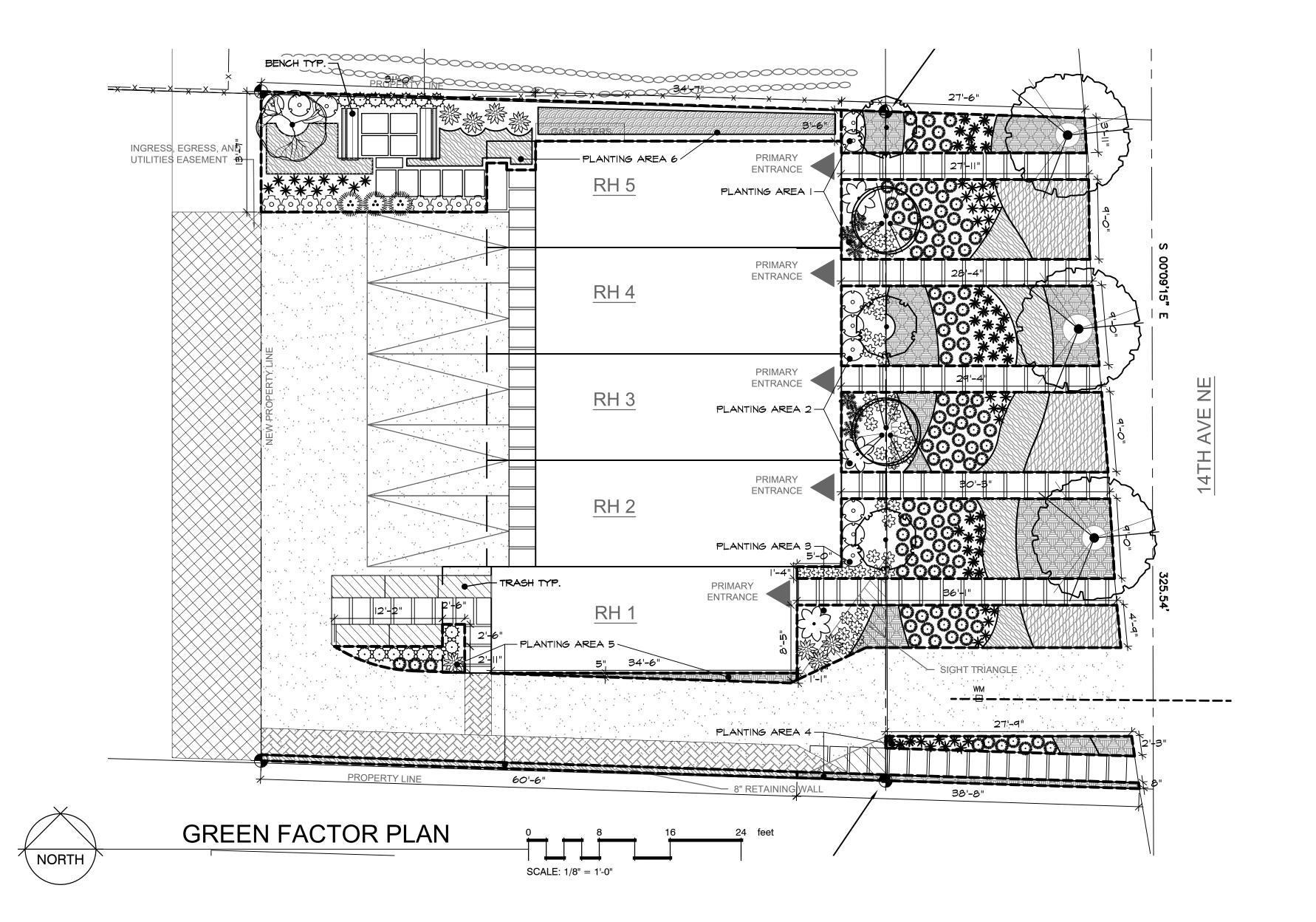




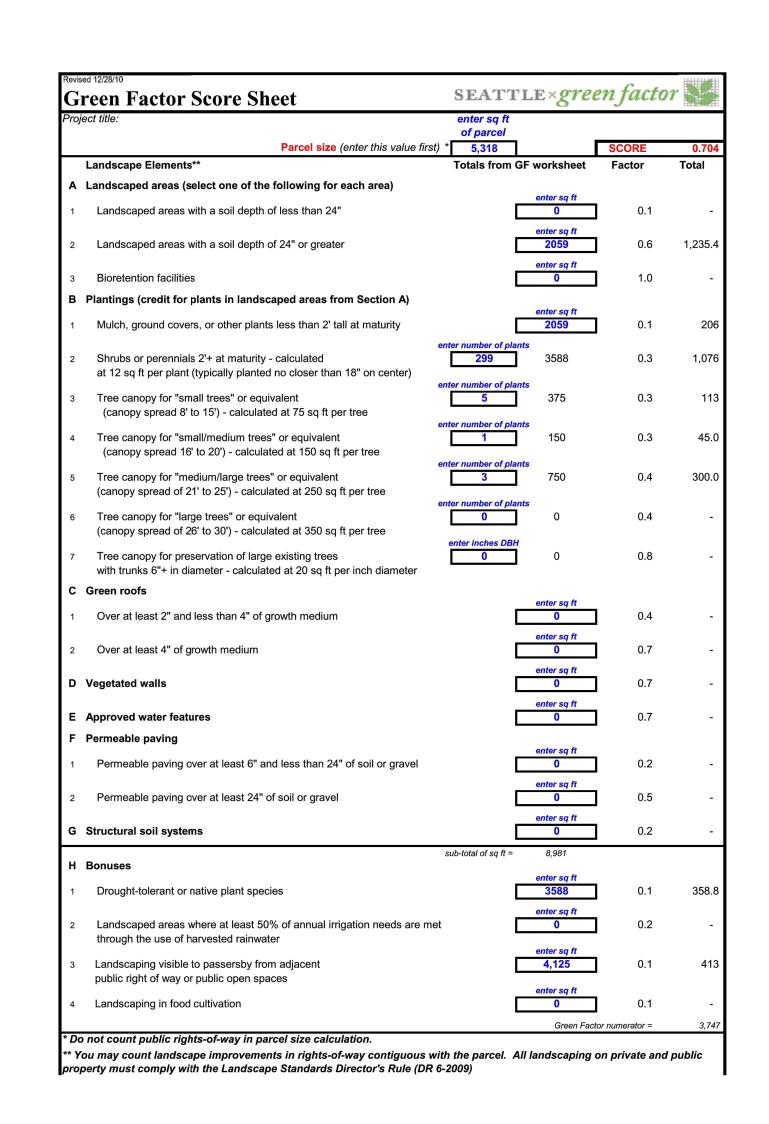
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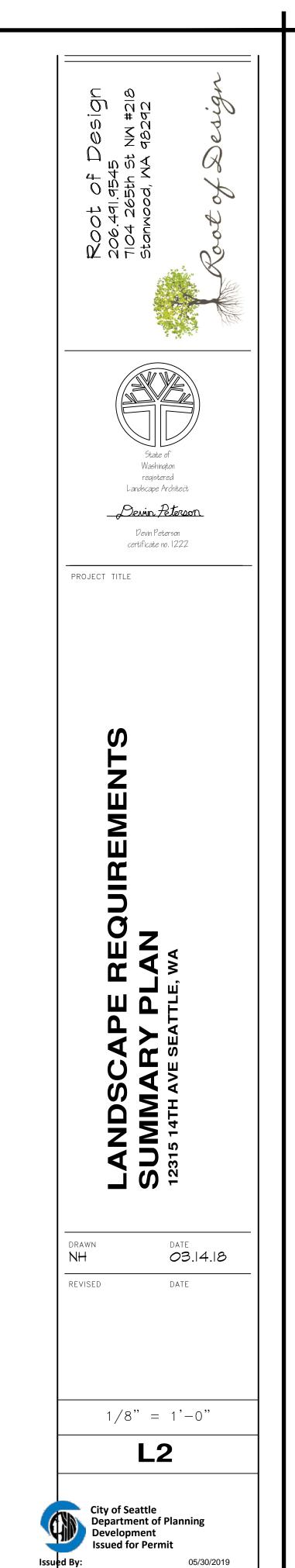
drawn NH		DATE 03 .	4.18
REVISED		DATE	
1	1/8"	= 1'-	o"
	L	.1	
611			

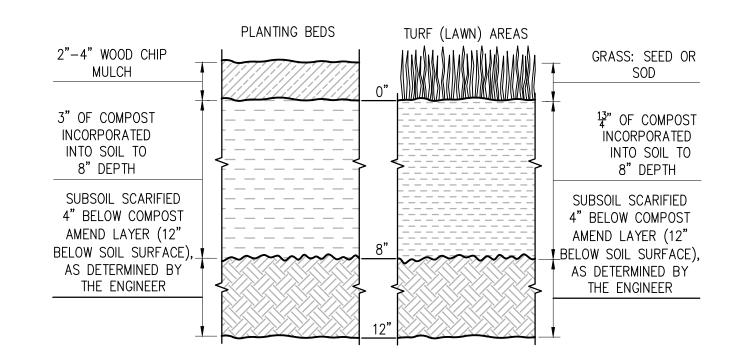




Freei	n Factor V	Works	heet*					
				Plantin	g Area			
		1	2	3	4	5	6	TOTA
A 1	square feet							0
A2	square feet	373	527	470	75	97	517	2059
A3	square feet							0
B1	square feet	373	527	470	75	97	517	2059
B2	# of plants	68	84	81	17	12	37	299
В3	# of trees	2	2	1				5
В4	# of trees		,				1	1
B5	# of trees	1	1	1				3
В6	# of trees							0
B7	# of trees							0
C1	square feet							0
C2	square feet		,					0
D	square feet							0
E	square feet							0
F1	square feet							0
F2	square feet							0
G	square feet							0
H1	square feet	816	1008	972	204	144	444	3588
H2	square feet							0
Н3	square feet	1216	1408	1297	204			4125
H4	square feet							0







- 1. ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION, AND NOT COVERED BY BUILDINGS OR PAVEMENT, SHALL BE AMENDED WITH COMPOST AS DESCRIBED BELOW.
- 2. SUBSOIL SHOULD BE SCARIFIED (LOOSENED) 4 INCHES BELOW AMENDED LAYER, TO PRODUCE 12-INCH DEPTH OF UN-COMPACTED SOIL, EXCEPT WHERE SCARIFICATION WOULD DAMAGE TREE ROOTS OR AS DETERMINED BY THE ENGINEER.
- 3. COMPOST SHALL BE TILLED IN TO 8 INCH DEPTH INTO EXISTING SOIL, OR PLACE 8 INCHES OF COMPOST-AMENDED SOIL, PER SOIL SPECIFICATION.
- 4. TURF AREAS SHALL RECEIVE 1.75 INCHES OF COMPOST TILLED IN TO 8-IN DEPTH, OR MAY SUBSTITUTE 8" OF IMPORTED SOIL CONTAINING 20-25% COMPOST BY VOLUME. THEN PLANT GRASS SEED OR SOD PER SPECIFICATION.
- 5. PLANTING BEDS SHALL RECEIVE 3 INCHES OF COMPOST TILLED INTO 8-INCH DEPTH, OR MAY SUBSTITUTE 8" OF IMPORTED SOIL CONTAINING 35-40% COMPOST BY VOLUME. MULCH AFTER PLANTING WITH 2-4 INCHES OF ARBORIST WOOD CHIP OR APPROVED EQUAL.
- 6. SETBACKS: TO PREVENT UNEVEN SETTLING, DO NOT COMPOST-AMEND SOILS WITHIN 3 FEET OF UTILITY INFRASTRUCTURES (POLES, VAULTS, METERS, ETC.). WITHIN ONE FOOT OF PAVEMENT EDGE, CURBS AND SIDEWALKS SHOULD BE COMPACTED TO APPROXIMATELY 90% PROCTOR TO ENSURE A FIRM SURFACE.

INSTALL GROUNDCOVERS __

----EQUAL

PLAN VIEW OF SPACING

TYPICAL GROUNDCOVER PLANTING DETAIL

SCORE ROOTBALL
3 PLACES TO 1/2" DEPTH AROUND ROOTBALL
INSTALL 1" ABOVE CONTAINER DEPTH APPROVED TOPSOIL

AS SPECIFIED

SOIL AMENDMENT AND DEPTH

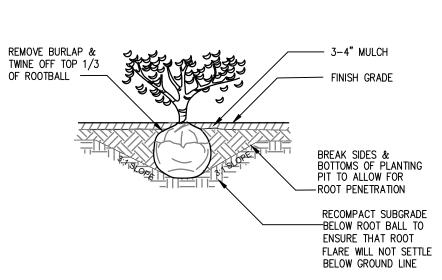
STANDARD PLAN NO 142, CITY OF SEATTLE

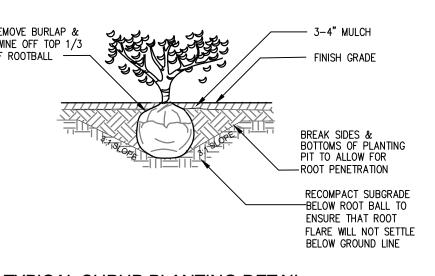
____TOP DRESSING FERTILIZER AS SPECIFIED

PLANTING BED

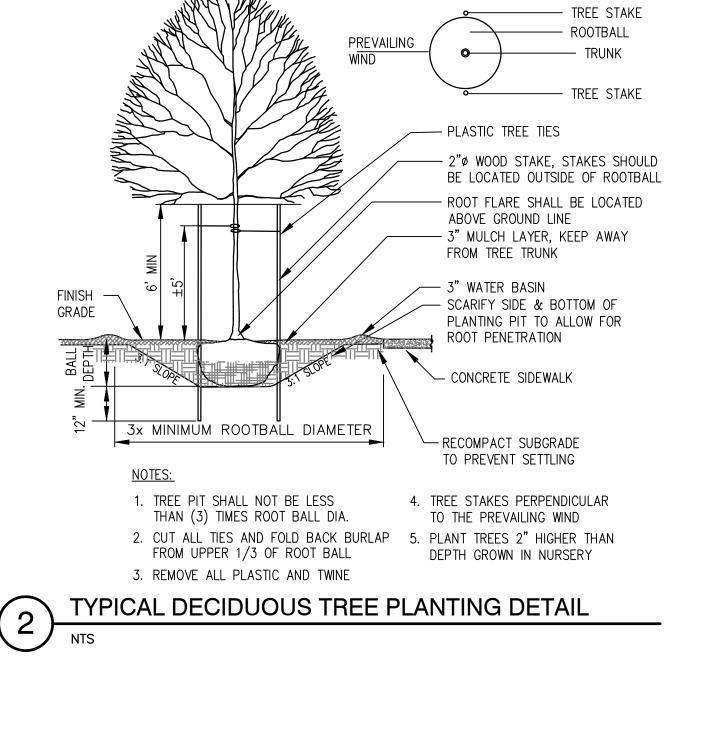
WITH 2"

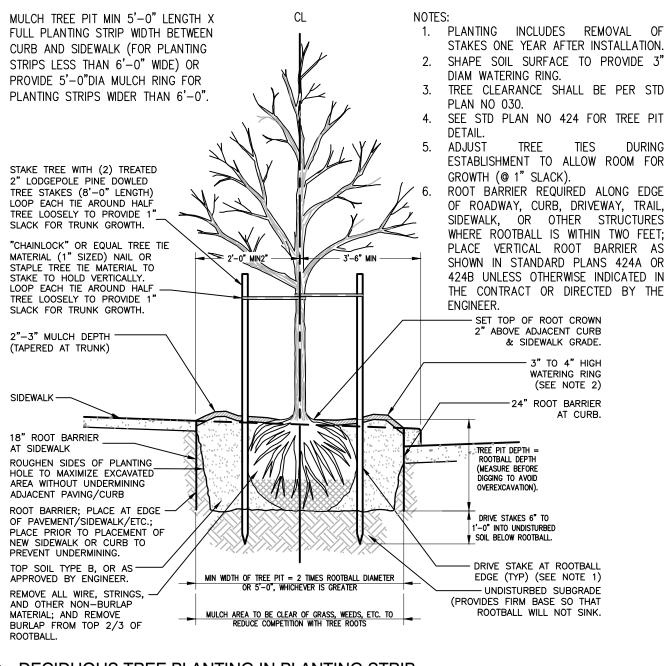
MULCH



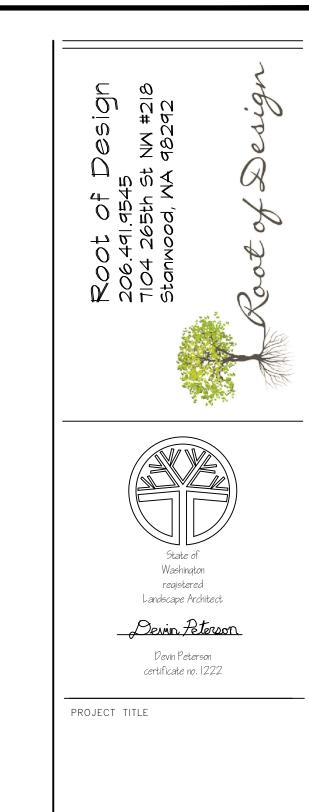


TYPICAL SHRUB PLANTING DETAIL





DECIDUOUS TREE PLANTING IN PLANTING STRIP STANDARD PLAN NO 100a, CITY OF SEATTLE



03.14.18 NHREVISED DATE NTS



05/30/2019

GRADING NOTES

FROM THE PAVEMENT.

70' - 5 19/32"

LOT DEPTH.

PROPERTY LINE

GAS METERS

REQ. REAR STBK

BACKING DISTANCE

LINE OF BUILDING ABOVE

COMMON AMENITY AREA

CURB STOP, TYP.

PARKING 5

PARKING 4

/TRÁSH 2/

6' - 0"

TRASH 4 TRASH 5

PEDESTRIAN PATHWAY TO BE DIFFERENTIATED FROM DRIVEWAY

PAVEMENT COLOR, TEXTURE, OR

1 SITE PLAN
SCALE: 3/16" = 1'-0"

SIMILAR PER SMC 23.45.529.F.2

19' - 11 1/2"

REAR. STBK.

58' - 5 9/16"

- NO SEDIMENT SHALL BE TRACKED INTO THE STREET OR ONTO PAVED SURFACES. SEDIMENT SHALL BE REMOVED FROM TRUCKS AND EQUIPMENT PRIOR TO LEAVING THE SITE. IN THE EVENT THERE IS A FAILURE OF AN EROSION CONTROL SYSTEM RESULTING IN SEDIMENT BEING TRACKED ONTO PAVED SURFACES, THE CONTRACTOR SHALL IMMEDIATELY IMPLEMENT MEASURES TO CORRECT THE SITUATION, AND STREET SWEEPING SHALL BE EMPLOYED ON AN EMERGENCY BASIS. IF STREET SWEEPING VEHICLES ARE UTILIZED, THEY SHALL BE OF THE TYPE THAT ACTUALLY REMOVES SEDIMENT
- SEATTLE DCI REQUIRES A PRE-CONSTRUCTION MEETING BETWEEN OWNERS REPRESENTATIVES, THE GENERAL CONTRACTOR, EXCAVATOR, AND DPD SITE
- GRADING MUST BE STABILIZED BY OCTOBER 31. NO EXCAVATION TO BE PERFORMED BETWEEN OCTOBER 31 AND APRIL 1 WITHOUT AN APPROVED DRY SEASON GRADING EXTENSION LETTER FROM SEATTLE DCI.
- TEMPORARY ENCROACHMENT ACROSS PROPERTY LINES DUE TO EXCAVATION IS NOT ALLOWED WITHOUT WRITTEN PERMISSION GRANTED BY OWNERS OF NEIGHBORING PROPERTIES AND SUBMITTED TO SEATTLE DCI.

UNIT 5

UNIT 4

UNIT 2

UNIT 1

34' - 6"

40' - 6"

PROPOSED PATHWAY

SINGLE FAMILY ZONING

70' - 5 1/2"

SITE PLAN NOTES

22' - 2 29/32"

R.O.W.

PROPOSED PATHWAY

PROPOSED PATHWAY

PROPOSED PATHWAY

PROPOSED PATHWAY

10' - 0"

ALL WORK IN R.O.W.

UNDER SDOT PERMIT # 389269

PROPOSED PATHWAY

TRASH STAGING AREA

EXISTING AMERICAN ELM

EXISTING AMERICAN ELM

28' - 7 1/2"

R.O.W.

TO BE REMOVED

TO BE REMOVED

EXISTING SWEET CHERRY
TO BE REMOVED

ORIGINAL PROPERTY LINE

REQ. FRONT STBK

PRIMARY

ENTRY

ENTRY

- PER SMC 23.45.534 ALL LIGHTING TO BE SHIELDED AND DIRECTED AWAY FROM ADJACENT BUILDINGS.
- PROTECT ALL TREES TO REMAIN PER LANDSCAPE PLANS. ANY NECESSARY
- PRUNING TO BE DONE IN CONSULTATION WITH CERTIFIED ARBORIST. SEE LANDCAPE PLANS FOR ADDITIONAL INFORMATION.
- ALL GRADING TO CONFORM TO SEATTLE GRADING CODE SMC 22.170.

PROJECT DATA 12321 14TH AVE NE

SEATTLE, WA 98125

DCI PROJECT #: 3030631, 6633838 ZONE: LR1

OVERLAY ZONING: NORTHGATE DISTRICT LOT SIZE: 5318 SF **ECA**: NONE

USE TYPE: RESIDENTIAL (ROWHOUSES)

PROJECT DESCRIPTION: CONSTRUCT A 5-UNIT ROWHOUSE STRUCTURE WITH 5 SURFACE PARKING STALLS. EXISTING STRUCTURE TO BE DEMOLISHED.

LEGAL DESCRIPTIONS & TAX ID NUMBERS:

PARCEL Z OF LBA #3030770, CITY OF SEATTLE SHORT PLAN NO. 3007640, ACCORDING TO THE SHORT PLAN RECORDED UNDER RECORDING NO. 20080423900014, RECORDS OF KING COUNTY, WASHINGTON.

EXCEPT THE EAST 39.53 FT. THEROF.

SUBJECT TO AND TOGETHER WITH AN EASEMENT FOR INGRESS, EGRESS, ADDRESSS SIGN AND UTILITIES AS SHOWN AND DESCRIBED AS "ACCESS EASEMENT" UPON THIS CITY OF SEATTLE LOT BOUNDARY ADJUSTMENT

TAX ID # 2926049610

ZONING CODE SUMMARY

FLOOR AREA RATIO (F.A.R.) SUMMARIES: RESIDENTIAL USES: ROWHOUSES ZONE: LR1, FAR 1.2 LOT AREA: 5318 SF X 1.2 = 6,381.6 SF MAX. ALLOWABLE SEE PROPOSED FAR AREAS, G0-02

SETBACK REQUIREMENTS:

ACTUAL 5'-2 1/4" **REQUIRED FRONT** 5'-0" MIN. SIDE N 3'-6" MIN. 3'-6" SIDE S 10'-5" 5'-0" MIN. REAR 7'-0" AVG./5'-0" MIN. 19'-11 1/2"

ROWHOUSES, LR1 - 1/1600 OR NO LIMIT* (BUILT GREEN)

STRUCTURE WIDTH & FACADE LENGTH: PER SMC 23.45.527

STRUCTURE WIDTH ALLOWED: ACTUAL: 60'-0"

FACADE LENGTH 70'-6" X 65% = 45'-10" ALLOWED:

ACTUAL: **HEIGHT:** PER SMC 23.45.514

ALLOWABLE: 30'-0" + 10'-0" (PENTHOUSE) + 40'-0" PROPOSED: SEE AVG. GRADE CALCS, SHEET G0-02

40'-6"

AMENITY AREA: PER SMC 23.45.522

REQUIRED: 25% OF LOT AREA (MIN. 50% PROVIDED @ GROUND LEVEL)

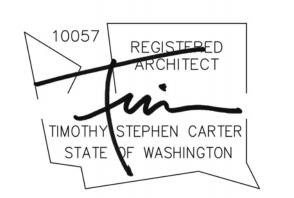
5318 SF X 25% = 1329.5 SF REQ'D (664.75 SF AT GROUND LEVEL) PROVIDED: SEE AMENITY AREA SCHEDULE, SHEET G0-02

RESIDENTIAL REQUIRED PARKING: REQUIRED: 1 SPACE PER UNIT PROVIDED: 5 SPACES TOTAL

2226 3RD AVE, SEATTLE, WA 98121 TEL. (206) 693-3133

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DESCRIPTION DATE SEPA INTAKE 03.16.18 CY 1 CORRECTIONS 08/06/18



14th Ave NE Rowhouses

SITE PLAN

3030631 / 6633838 SDCI Project Number Issue Date 05/16/18 Drawn by Checked by

A1-00

05/30/2019

EXISTING SFR TO BE

INGRESS, EGRESS

LBA#3030770

18' TURN RADIUS

MIN 2'6"x6' SOLID

WASTE STORAGE

PER SMC 23.54.040.D.3

NON-EXCEPTIONAL TREE ON NEIGHBORING

PROPERTY

STACKED BLOCK

RETAINING PER 1/A8-10

EASEMENT THROUGH

DEMOLISHED

CRAWLSPACE VENT, UNITS 1-5 LEGEND

PER SRC-R408

CRAWLSPACE AREA: 371.3 SF W/ APPROVED VAPOR RETARDER **VENTILATION REQUIRED:** (371.3 SF / 150) x 144 si/SF = 356.4 si VENT AREA =

PROVIDE:

VENTS REQUIRED =

USE:

128 si - 25% REDUCTION 1/4" MESH = 96 si

356.4 si / 96 si = 3.71 VENTS

FOUR (4) 8" x 16" VENTS

1-HR FIRE SEPARATION 2-HR FIRE SEPARATION

EXTERIOR INSULATED WALL

PLUMBING WALL

— — — LINE OF BUILDING ABOVE

TYPICAL FLOOR PLAN NOTES

- ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.).

- ALL EXTERIOR WALLS TO BE 2x6 @ 16" O.C. (U.N.O.). WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT

DOOR SIZES NOTED ARE SLABS NOT ROUGH OPENINGS

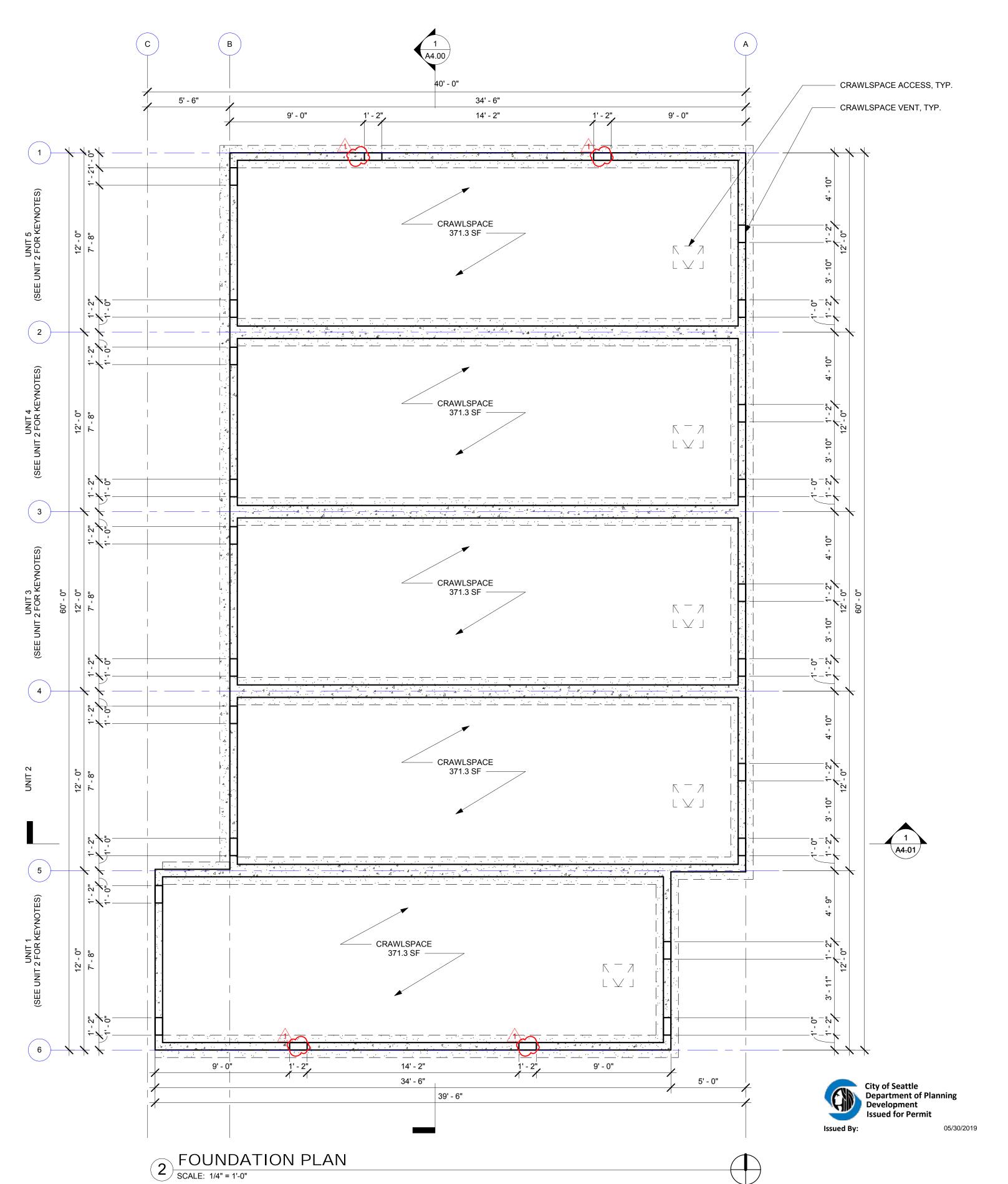
PROVIDE FIREBLOCKING OVER SUPPORTS

PROVIDE SOLID BLOCKING OVER SUPPORTS

ALL FOOTINGS MUST BE 18" BELOW GRADE, MIN. PROVIDE R-10 RIGID INSULATION BELOW HEATED SPACES

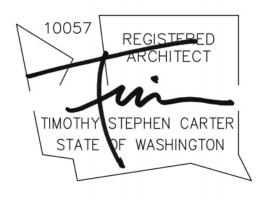
PROVIDE 10 MIL MOISTURE BARRIER BELOW ALL CONCRETE SLABS SEE UNIT 2 FOR ALL INTERIOR DIMENSIONS FOR UNITS 3-5





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1	SEPA INTAKE CY 1 CORRECTIONS	03.16.18 08/06/18



14th Ave NE Rowhouses

FLOOR PLANS

SDCI Project Number	3030631 / 6633838
Issue Date	05/16/18
Drawn by	MB
Checked by	SM

A2-00

LEGEND

1-HR FIRE SEPARATION

2-HR FIRE SEPARATION EXTERIOR INSULATED WALL

PLUMBING WALL — — — LINE OF BUILDING ABOVE

TYPICAL FLOOR PLAN NOTES

- ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.).

- ALL EXTERIOR WALLS TO BE 2x6 @ 16" O.C. (U.N.O.). WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT

DOOR SIZES NOTED ARE SLABS NOT ROUGH OPENINGS

PROVIDE FIREBLOCKING OVER SUPPORTS PROVIDE SOLID BLOCKING OVER SUPPORTS

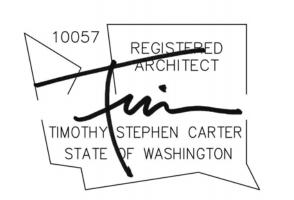
ALL FOOTINGS MUST BE 18" BELOW GRADE, MIN. PROVIDE R-10 RIGID INSULATION BELOW HEATED SPACES PROVIDE 10 MIL MOISTURE BARRIER BELOW ALL CONCRETE SLABS

SEE UNIT 2 FOR ALL INTERIOR DIMENSIONS FOR UNITS 3-5



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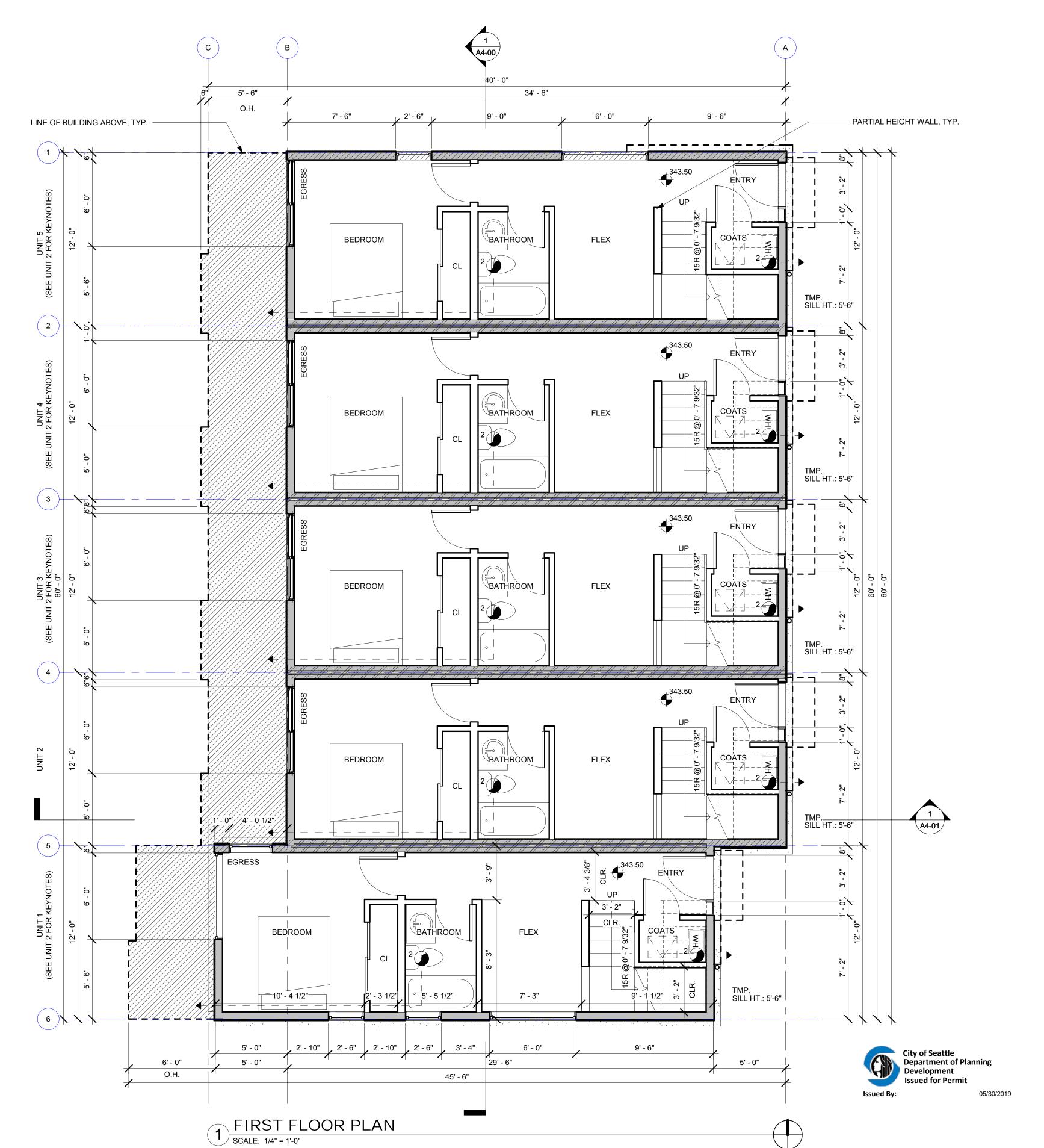


14th Ave NE Rowhouses

FLOOR PLANS

3030631 / 6633838 SDCI Project Number Issue Date 05/16/18 Drawn by Checked by

A2-01



LEGEND

1-HR FIRE SEPARATION

2-HR FIRE SEPARATION

EXTERIOR INSULATED WALL

PLUMBING WALL

— — — LINE OF BUILDING ABOVE

TYPICAL FLOOR PLAN NOTES

- ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.).

ALL EXTERIOR WALLS TO BE 2x6 @ 16" O.C. (U.N.O.).
 WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT

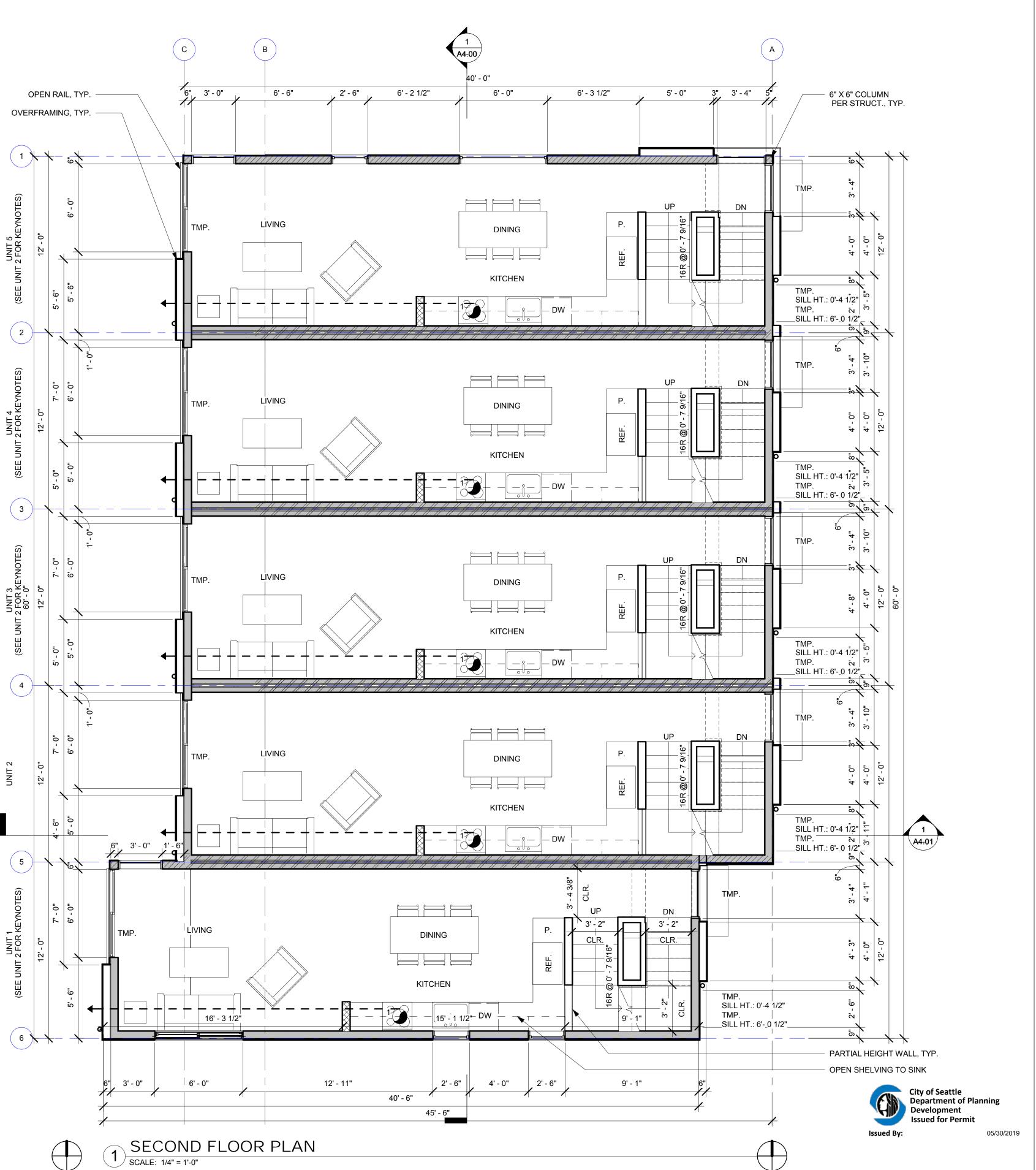
- DOOR SIZES NOTED ARE SLABS NOT ROUGH OPENINGS

PROVIDE SOUR PLACKING OVER SUPPORTS

PROVIDE SOLID BLOCKING OVER SUPPORTS
ALL FOOTINGS MUST BE 18" BELOW GRADE, MIN.

PROVIDE R-10 RIGID INSULATION BELOW HEATED SPACES
PROVIDE 10 MIL MOISTURE BARRIER BELOW ALL CONCRETE SLABS

SEE UNIT 2 FOR ALL INTERIOR DIMENSIONS FOR UNITS 3-5

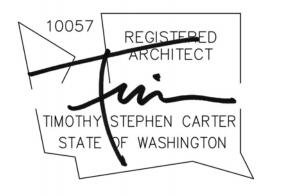




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FLOOR PLANS

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Issue Date	05/16/18	
Drawn by	MB	
Checked by	SM	

A2-02

CONE Project Number 1804

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LEGEND

1-HR FIRE SEPARATION

2-HR FIRE SEPARATION

EXTERIOR INSULATED WALL

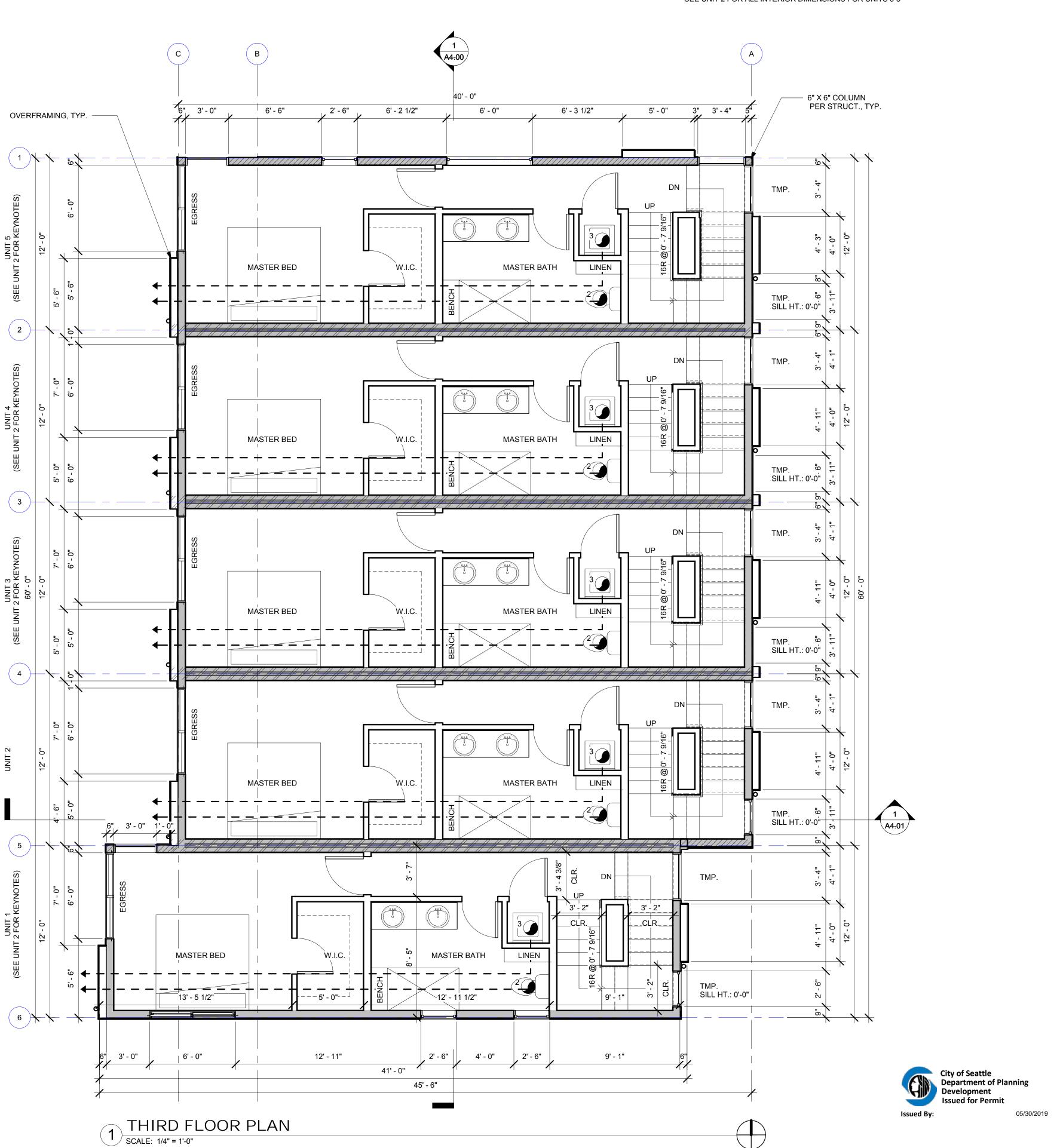
PLUMBING WALL

— — — LINE OF BUILDING ABOVE

TYPICAL FLOOR PLAN NOTES

- ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.).
- ALL EXTERIOR WALLS TO BE 2x6 @ 16" O.C. (U.N.O.).
- WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT
- DOOR SIZES NOTED ARE SLABS NOT ROUGH OPENINGS PROVIDE FIREBLOCKING OVER SUPPORTS
- PROVIDE SOLID BLOCKING OVER SUPPORTS
- ALL FOOTINGS MUST BE 18" BELOW GRADE, MIN.
 PROVIDE R-10 RIGID INSULATION BELOW HEATED SPACES
- PROVIDE 10 MIL MOISTURE BARRIER BELOW ALL CONCRETE SLABS
 SEE UNIT 2 FOR ALL INTERIOR DIMENSIONS FOR UNITS 3-5





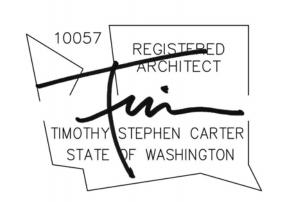
DATE

03.16.18

DESCRIPTION

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FLOOR PLANS

SDCI Project Number	3030631 / 6633838
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A2-03

CONE Project Number 1804

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PENTHOUSE AREA CALCS.

2399.0 SF

PER SMC 23.45.514.J.4 TOTAL ROOF AREA:

ALLOWABLE PENTHOUSE AREA 15% X ROOF AREA 15% X (2399.0) SF =

359.85 SF PENTHOUSE AREA PER UNIT = 46.4 SF PROPOSED TOTAL PENTHOUSE AREA = 239.5 SF

SOLAR READY CALC.'S

SRC U101.1 EXCEPTION: THE FOLLOWING DO NOT REQUIRE SOLAR-READY ZONES: 2. INDIVIDUAL UNITS WITHIN TOWNHOUSE BUILDINGS THAT HAVE LESS THAN 300 SQUARE FEET OF QUALIFYING ROOF AREA PER UNIT CONFORMING TO THE REQUIREMENTS OF SECTION U101.1.1. SRC U101.1.1 GENERAL: QUALIFYING ROOF AREA INCLUDES ALL ROOF AREAS

OTHER THAN THE FOLLOWING: 3. ROOF AREAS CONSISTING OF SKYLIGHTS, OCCUPIED DECKS, OR PLANTED

NON-QUALIFYING ROOF AREA PER UNIT (OCCUPIED DECK) = UNIT 1,5 = 349.4 SF UNIT 2-4 = 350.0 SF

(SEE AMENITY AREA DIAGRAM SHEET G0-02)

QUALIFYING ROOF AREA PER UNIT (PENTHOUSE - SEE PENTHOUSE COVERAGE CALCS SHEET A2-02) = 45.98 SF (UNIT 1-5) = < 300 SF = MEETS U101.1 EXCEPTION

LEGEND

SHADED AREAS INDICATE OVER FRAMING, 2x6 @ 24" O.C. 1-HR FIRE SEPARATION TYPICAL, (U.N.O.)TERIOR.

PROVIDE SOLID BLOCKING OVER SUPPORTS 2-HR FIRE SEPARATION FOOTING DRAIN EXTERIOR INSULATED WALL

FRAMING INSPECTION.

SPECIFICATIONS

PLUMBING WALL

— — — LINE OF BUILDING ABOVE

SOFFIT, VENT, AND INSULATE ALL CANTILEVERED AREAS

TYPICAL ROOF NOTES

DS = DOWNSPOUT (4" PIPE TIGHT-LINED INDEPENDENT OF ALL MANUFACTURED TRUSSES: -SHALL HAVE DESIGN DETAILS AND DRAWINGS ON SITE FOR

-SHALL BE INSTALLED AND BRACED TO MANUFACTURER'S

-SHALL CARRY MANUFACTURER'S STAMP ON EACH TRUSS

TYPICAL FLOOR PLAN NOTES

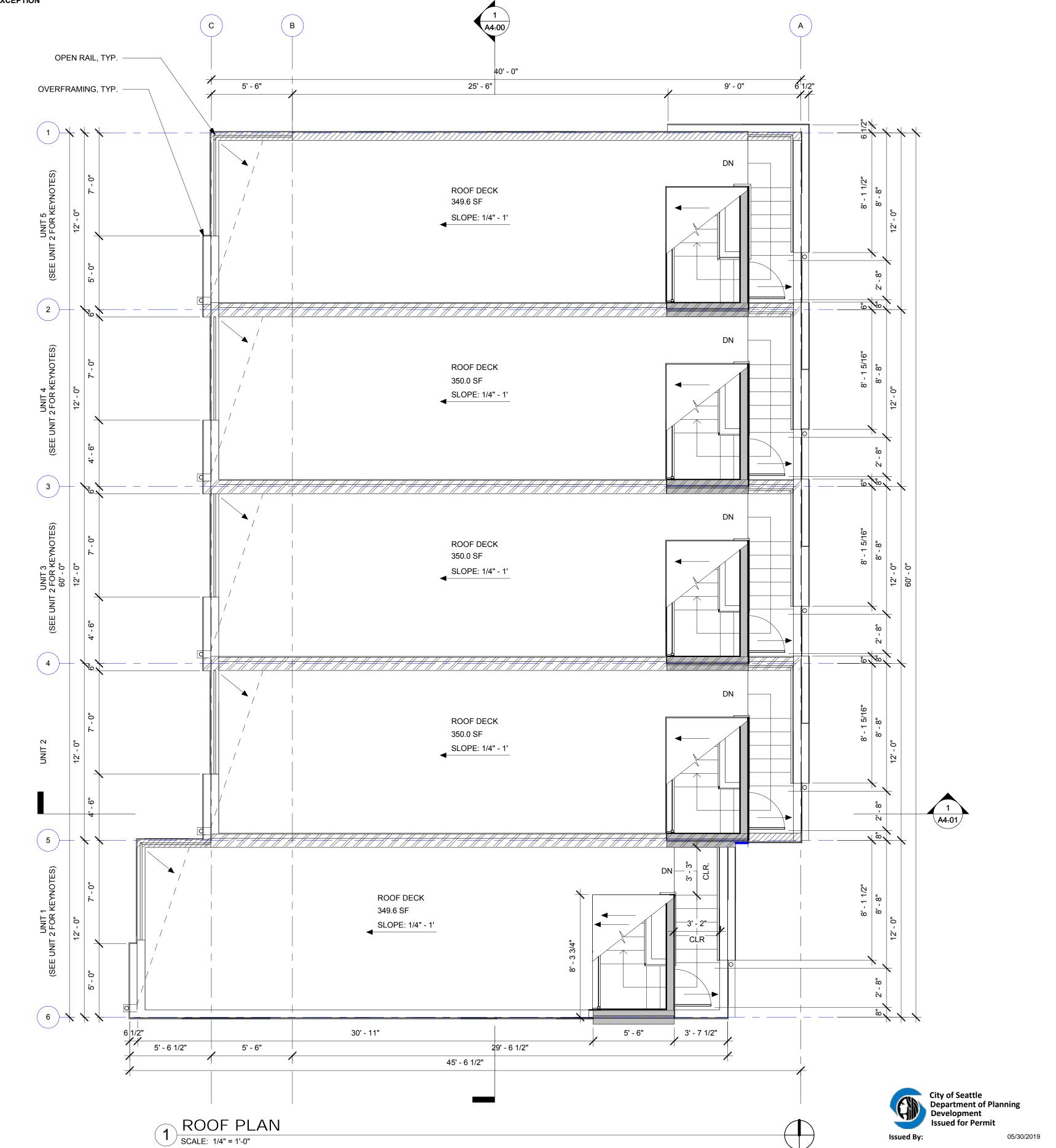
ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.). ALL EXTERIOR WALLS TO BE 2x6 @ 16" O.C. (U.N.O.).

WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT DOOR SIZES NOTED ARE SLABS NOT ROUGH OPENINGS

PROVIDE FIREBLOCKING OVER SUPPORTS PROVIDE SOLID BLOCKING OVER SUPPORTS ALL FOOTINGS MUST BE 18" BELOW GRADE, MIN.

PROVIDE R-10 RIGID INSULATION BELOW HEATED SPACES PROVIDE 10 MIL MOISTURE BARRIER BELOW ALL CONCRETE SLABS

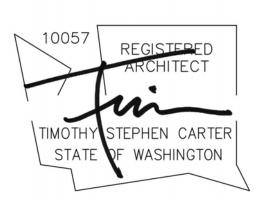
SEE UNIT 2 FOR ALL INTERIOR DIMENSIONS FOR UNITS 3-5





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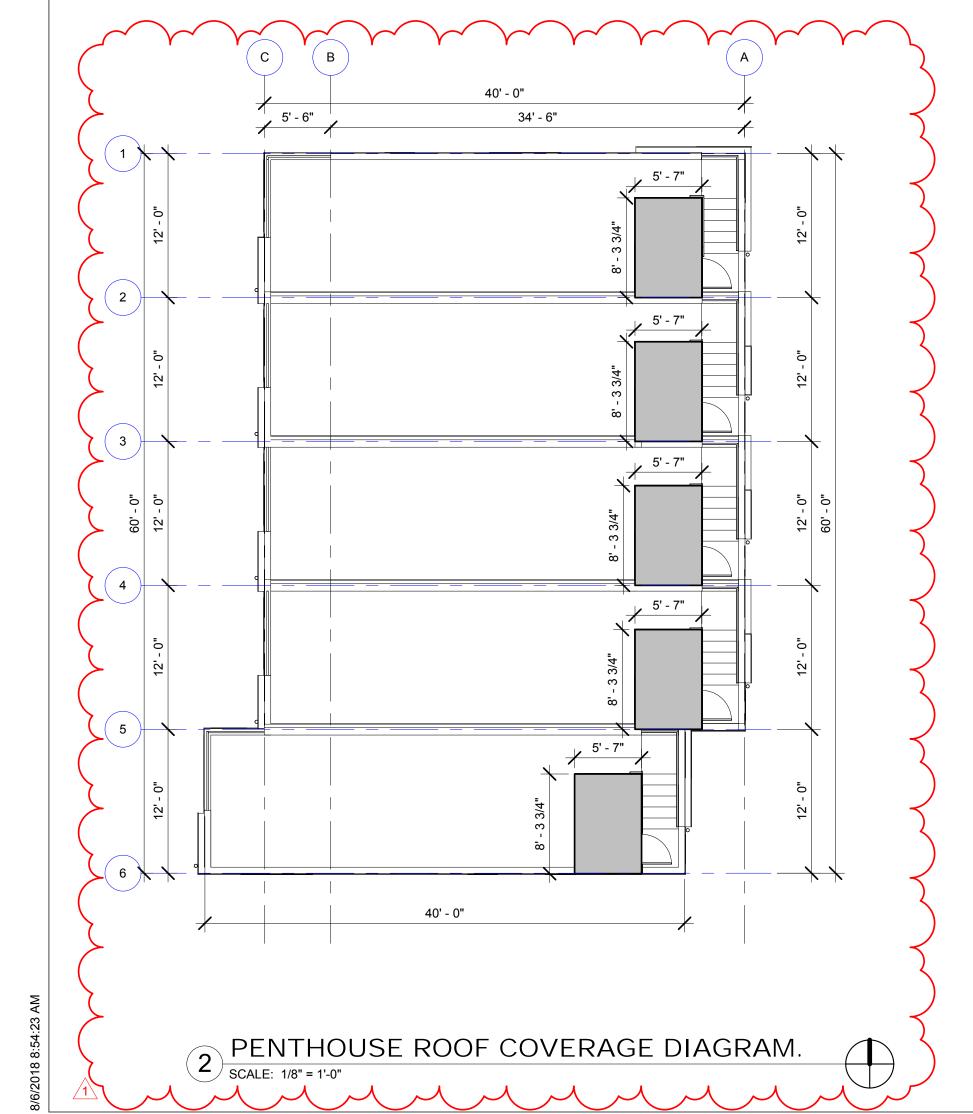
FLOOR PLANS

SDCI Project Number	3030631 / 6633838
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A2-04

05/30/2019

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KEYED MATERIAL NOTES

- A 4" CEDAR SIDING, LIGHT STAIN
- B 12" O.C. BOARD AND BATTEN SIDING, DARK GREY
- C FIBER CEMENT INFILL PANEL, DARK GREY
 D 4' x 8' FIBER CEMENT PANEL, LIGHT GREY
- CAST-IN-PLACE CONCRETE
- BENT STEEL AWNING, PER STRUCT.
- G WINDOWS, BLACK
- H METAL GUTTER, TO MATCH AWNING
 J METAIL RAILING, MIN. 36' ABOVE FINISH SURFACE RAILINGS SPACED THAT A
- K 7" REVEAL HORIZONTAL LAP SIDING, WHITE

4" DIAMETER SPHERE CANNOT PASS THORUGH



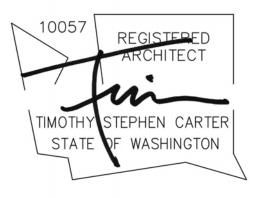


1 EAST SCALE: 1/4" = 1'-0"

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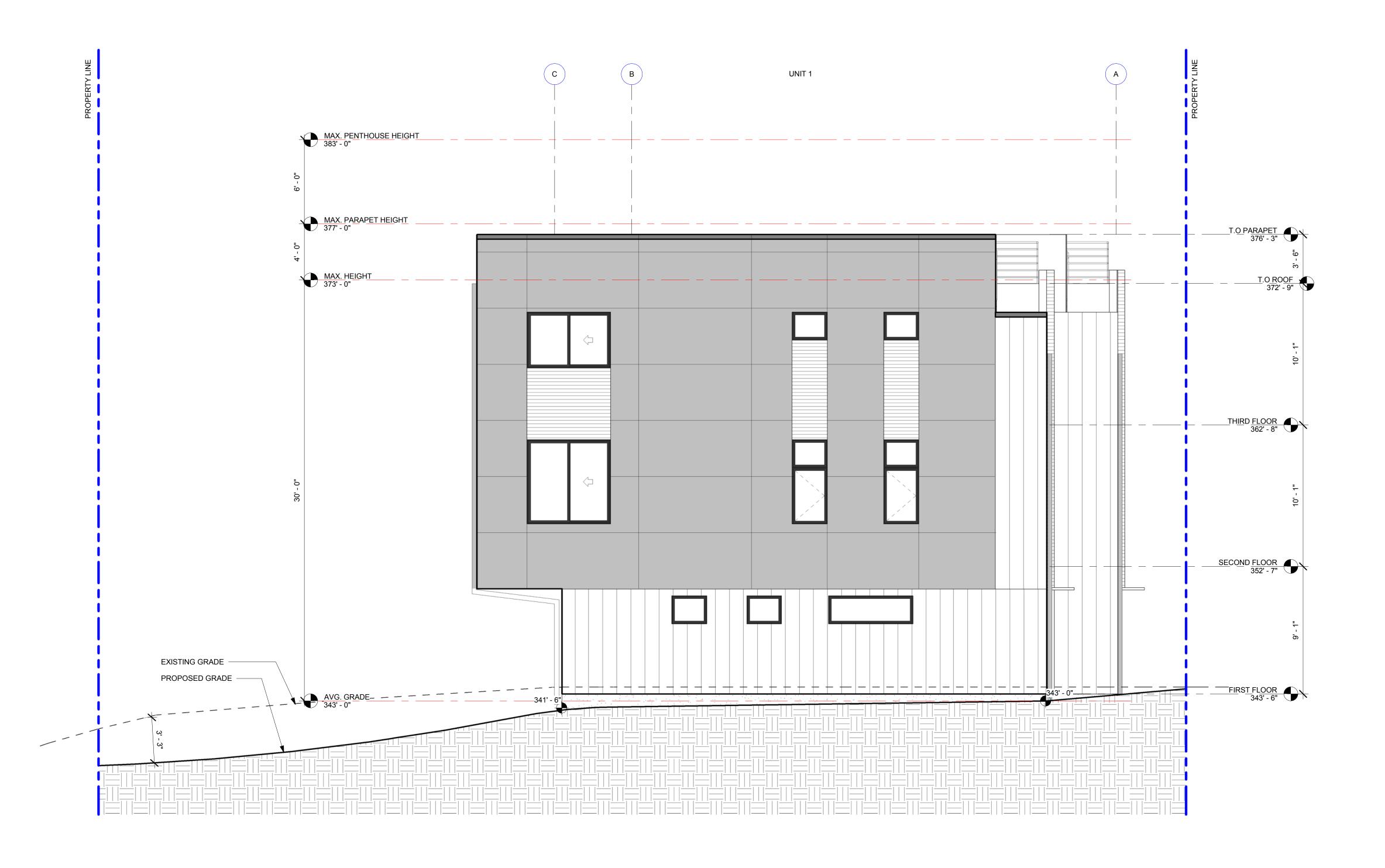
EAST ELEVATION

SDCI Project Number	3030631 / 6633838
Issue Date	05/16/18
Drawn by	MB
Checked by	SM

A3-00

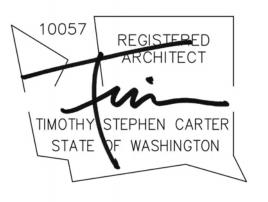
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14th Ave NE Rowhouses

SOUTH ELEVATION

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Issue Date	05/16/18
Drawn by	ME
Checked by	SM

A3-01

SOUTH

SCALE: 1/4" = 1'-0"

Department of Planning
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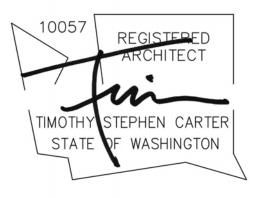




DATE DESCRIPTION

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WEST ELEVATION

SDCI Project Number	3030631 / 6633838
Issue Date	05/16/18
Drawn by	MB
Checked by	SM

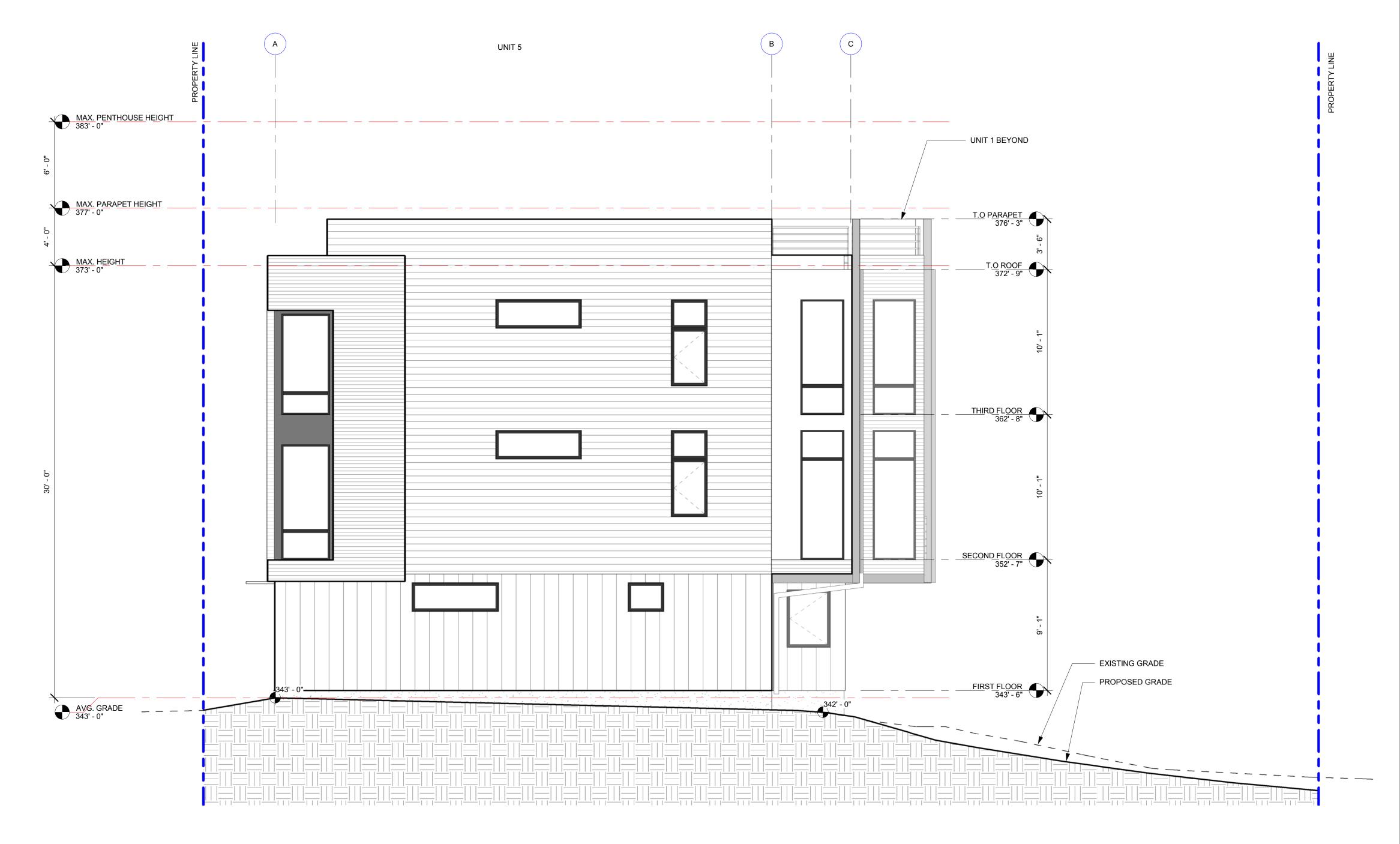
City of Seattle
Department of Planning
Development
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A3-02

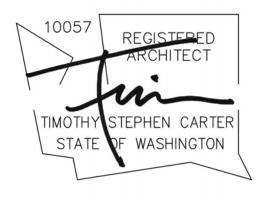
1 WEST SCALE: 1/4" = 1'-0"

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DATE DESCRIPTION SEPA INTAKE



14th Ave NE Rowhouses

NORTH ELEVATION

SDCI Project Number	3030631 / 6633838
Issue Date	05/16/18
Drawn by	MB
Checked by	SM

A3-03

1 NORTH
SCALE: 1/4" = 1'-0"

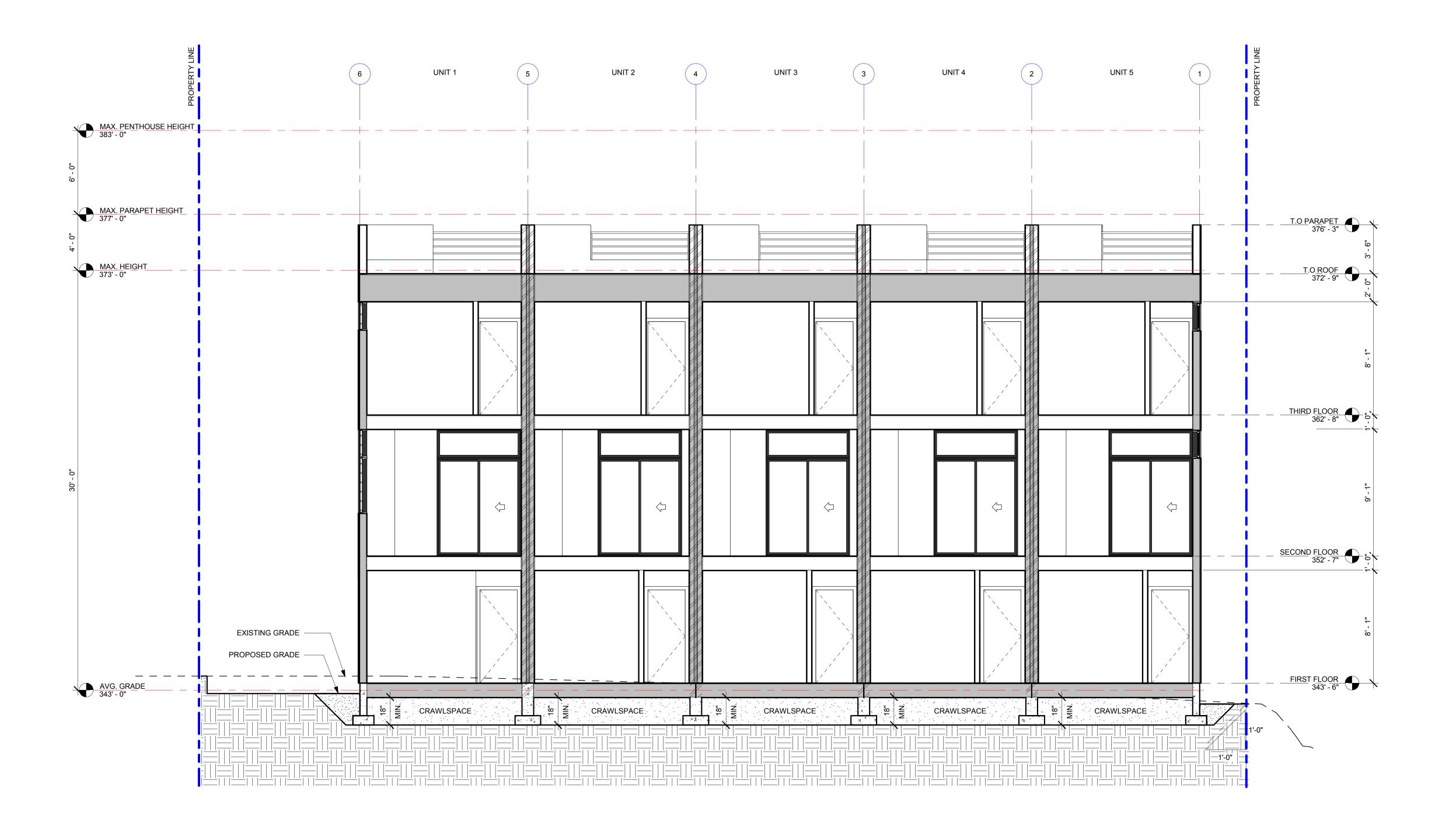
CONE Project Number

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BUILDING SECTION GENERAL NOTES

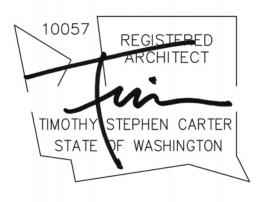
- SEE ASSEMBLIES DETAIL ON SHEET A8-00
- ALL PARTY WALL FIRE RATINGS MUST BE CONTINUOUS FROM FOUNDATION TO ROOF SHEATHING
- BUILDING 2 SECTION IDENTICAL TO BUILDING 1 SECTION
 PROVIDE GROUND COVER OF 6 MIL POLYETHYLENE OR APPROVED EQUAL AT THE CRAWL SPACE





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14th Ave NE Rowhouses

BUILDING SECTIONS

SDCI Project Number		3030631 / 6633838
Issue Date	,	05/16/18
Drawn by		MB
Checked b	у	SM

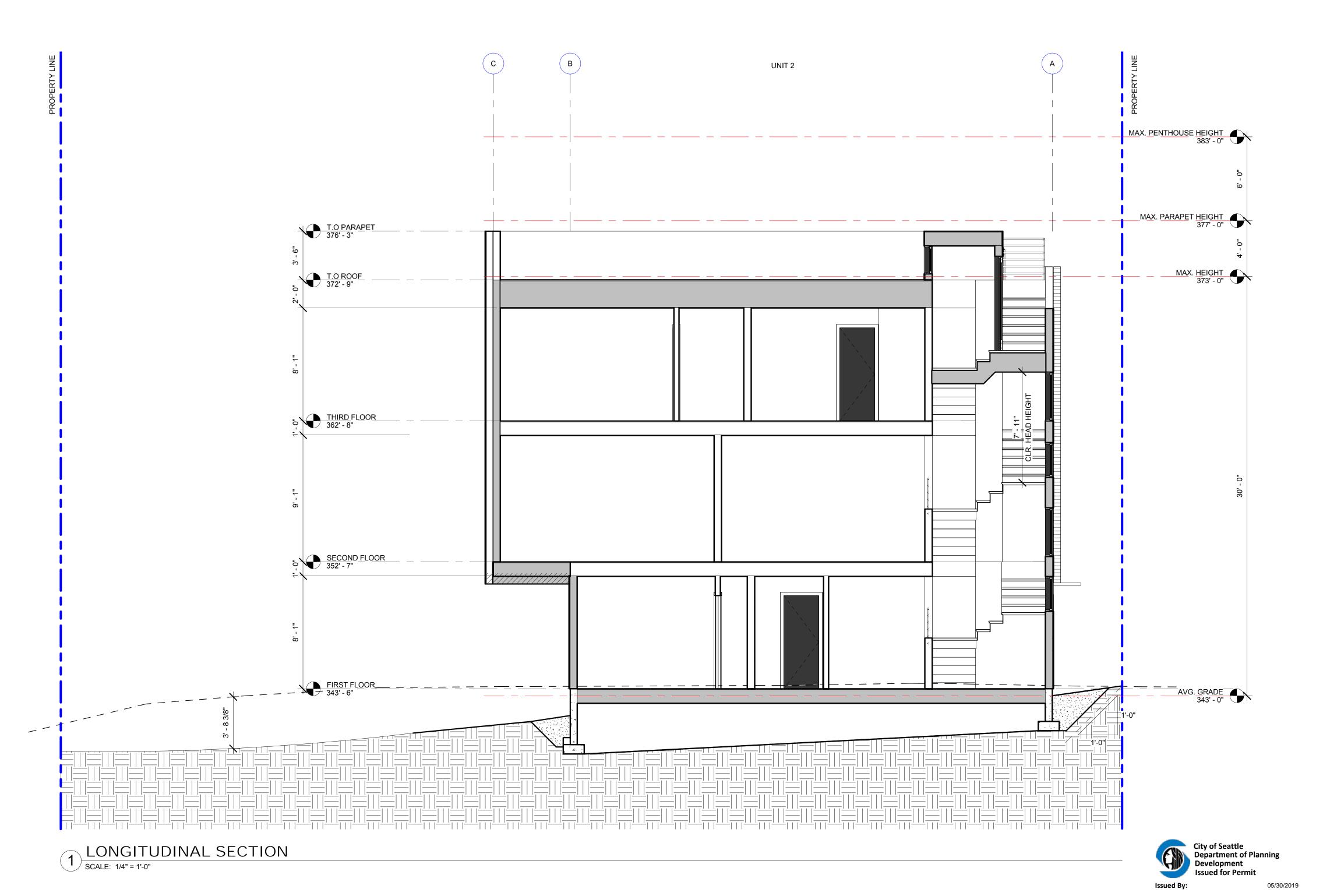
A4-00

City of Seattle
Department of Planning
Development
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BUILDING SECTION GENERAL NOTES

- SEE ASSEMBLIES DETAIL ON SHEET A8-00
- ALL PARTY WALL FIRE RATINGS MUST BE CONTINUOUS FROM FOUNDATION TO ROOF SHEATHING
- BUILDING 2 SECTION IDENTICAL TO BUILDING 1 SECTION
 PROVIDE GROUND COVER OF 6 MIL POLYETHYLENE OR APPROVED EQUAL AT THE CRAWL SPACE

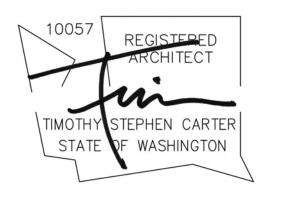




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14th Ave NE Rowhouses

BUILDING SECTIONS

SDCI Project Number	3030631 / 6633838
Issue Date	05/16/18
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A4-01

CONE Project Number 180



DATE DESCRIPTION

STACKED BLOCK WALL

SCALE: 1" = 1'-0"

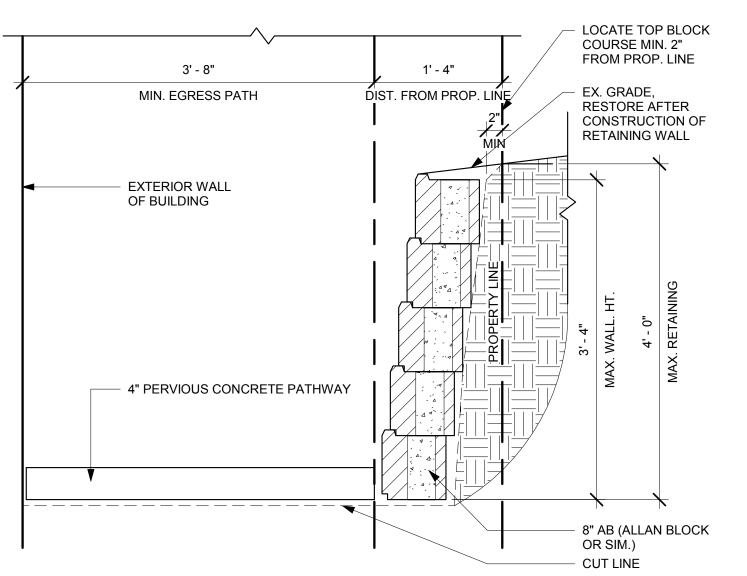
STACKED BLOCK WALL NOTES:

1. SDCI REQUIRES PRE-CONSTRUCTION MEETING FOR PROJECT NO. 6498620 BETWEEN OWNER'S REPRESENTATIVES (GENERAL CONTRACTOR, EXCAVATION CONTRACTOR, AND SDCI SITE INSPECTOR. CONTACT 206-386-4531 TO ARRANGE MEETING.

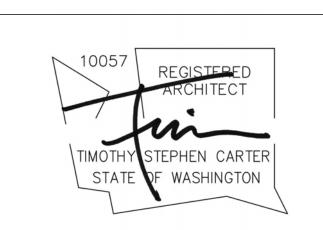
2. TEMPORARY ENCROACHMENT ACROSS PROPERTY LINE DUE TO CONSTRUCTION IS NOT ALLOWED WITHOUT WRITTEN PERMITTION GRANTED BY OWNERS OF NEIGHBORING PROPERTIES AND SUBMITTED

EXCAVATION FOR BLOCK WALL SHALL NOT START UNTIL BLOCKS ARE ON SITE.
 CUTS FOR BLOCK WALL SHALL BE STAGED IN 10'-0" SEGMENTS.
 MAXIMUM TIME PERMITTED FOR EXPOSED CUTS SHALL BE FOUR (4) HOURS.

6. USE ALLAN BLOCK CORP. AB CLASSIC BLOCK SIZE (8"), OR PROVIDE APPROVED EQUIVALENT. REFER TO MANUFACTURER STANDARDS FOR INSTALLATION.



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Department of Planning
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14th Ave NE Rowhouses

DETAILS

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